

**PLAN INDEX – SUBDIVISION & LAND DEVELOPMENT PLAN**

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**PLAN INDEX – PCSM AND E&S PLAN**

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03	SM-3	X	POST CONSTRUCTION STORMWATER MANAGEMENT PLAN – NEIGHBORHOOD 3.1
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07	SM-7	X	POST CONSTRUCTION STORMWATER MANAGEMENT PLAN – NEIGHBORHOOD 7
08	SM-8	X	POST CONSTRUCTION STORMWATER MANAGEMENT DETAILS
09	SM-9	X	POST CONSTRUCTION STORMWATER MANAGEMENT – TRENCH PLANS & DETAILS
10	SM-10	X	POST CONSTRUCTION STORMWATER MANAGEMENT – TRENCH PLANS & DETAILS
11	SM-11	X	POST CONSTRUCTION STORMWATER MANAGEMENT – BASIN DETAILS
12	SM-12	X	POST CONSTRUCTION STORMWATER MANAGEMENT – BASIN DETAILS
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28	ES-9	X	EROSION & SEDIMENT CONTROL PLAN – DETAILS
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33	ES-14	X	EROSION POTENTIAL ANALYSIS

X SHEET TO BE RECORDED

**EQUITABLE OWNER / DEVELOPER (ARCONA NEIGHBORHOOD 3, 4, 5, 6, & 7):**

Charter Homes Development Company  
322 North Arch Street  
Lancaster, PA 17603

**OWNER (ARCONA NEIGHBORHOOD 3)**  
Ruth D. Leshar  
1340 Rossmoyne Road  
Mechanicsburg, PA 17055

**SOURCE OF TITLE:**  
Tax Map 13-10-0256-011  
Deed Book and Page: 00184-00353

**OWNER (ARCONA NEIGHBORHOOD 4)**  
Ruth D. Leshar  
1340 Rossmoyne Road  
Mechanicsburg, PA 17055

**SOURCE OF TITLE:**  
Tax Map 13-10-0256-230  
Deed Book and Page: 00184-00353

**OWNER (ARCONA NEIGHBORHOOD 5)**  
Ruth D. Leshar (1/2 interest) and Strong & Detweiler Partnership (1/2 interest)  
1340 Rossmoyne Road  
Mechanicsburg, PA 17055

**SOURCE OF TITLE:**  
Tax Map 13-10-0256-229  
Deed Book and Page: 201729508 (Ruth D. Leshar)  
Deed Book and Page: 274-1884 (Strong & Detweiler)

**OWNER (ARCONA NEIGHBORHOOD 6)**

Arcona Commons Properties LP  
322 North Arch Street  
Lancaster, PA 17603

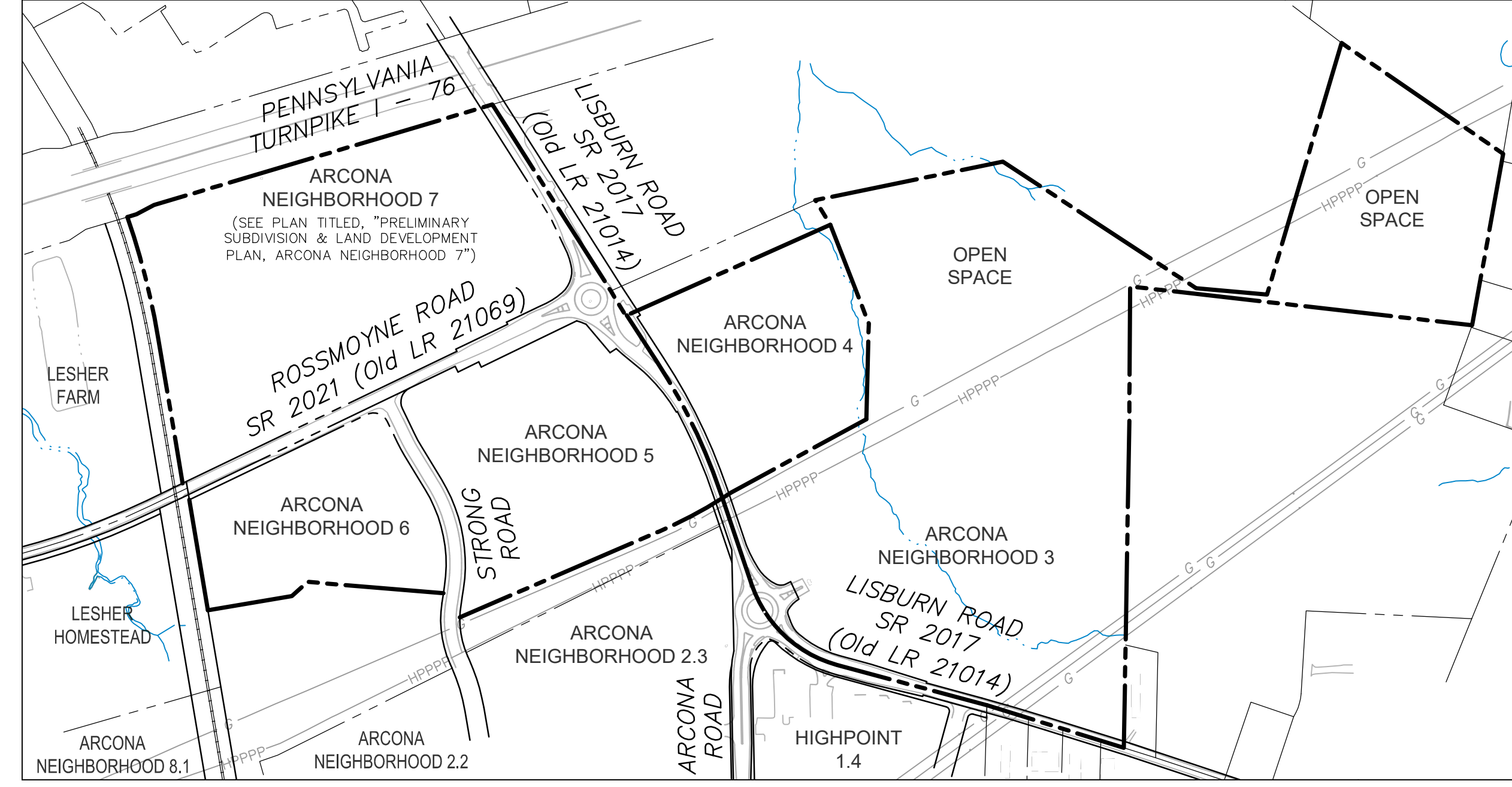
**SOURCE OF TITLE:**  
Tax Map 13-10-0256-225  
Deed Book and Page: 201920512

**OWNER (ARCONA NEIGHBORHOOD 7)**  
Ruth D. Leshar (1/2 interest) and Strong & Detweiler Partnership (1/2 interest)  
1340 Rossmoyne Road  
Mechanicsburg, PA 17055

**SOURCE OF TITLE:**  
Tax Map 13-10-0256-228  
Deed Book and Page: 201729508 (Ruth D. Leshar)  
Deed Book and Page: 247-1884 (Strong & Detweiler)

**Notes:**  
Arcona Neighborhoods 3, 4 & 5 are all as shown on the Subdivision Plan recorded in PL# 201807345. Neighborhoods 6 & 7 area as shown on PL# 201807345 except where right-of-way was transferred to PennDOT around the Lisburn-Rossmoyne Roundabout, as recorded in Instrument #201903119.

**PRELIMINARY / FINAL SUBDIVISION & LAND DEVELOPMENT PLAN**  
**ARCONA NEIGHBORHOODS 3, 4, 5, & 6**



SCALE: 1" = 300'

**SITE ACREAGE:**

ARCONA NEIGHBORHOOD 3	– GROSS AREA	32.29 Ac.
ARCONA NEIGHBORHOOD 4	– GROSS AREA	6.12 Ac.
ARCONA NEIGHBORHOOD 5	– GROSS AREA	8.82 Ac.
ARCONA NEIGHBORHOOD 6	– GROSS AREA	5.29 Ac.
TOTAL	– GROSS AREA	52.52 Ac.

**PROPOSED USE:**

44	– Single-Family Detached Lots
88	– Single-Family Attached Units
7	– Mixed Use Residential
139	– Total Residential
49,625 S.F.	– Commercial / Office

**SITE DATA:**

Highway Occupancy Permit is to be prepared by others and submitted to PENNDOT for approval.

**ZONING:**

R-2 Single-Family Residential District (TND Overlay)

**OUTSIDE AGENCY PERMITS**

- In conjunction with this project the following outside agency permits/reviews are anticipated and required:
1. Erosion Control Plan – Issued by the Cumberland County Conservation District (CCCD) for sedimentation control during construction.
  2. Individual NPDES – Issued by CCOD/PADEP in conjunction with construction activities with one (1) or more acres of earth disturbance.
  3. Sewage Planning – Approval by Lower Allen Township Authority regarding sanitary sewer service. Approval of a Sewer Planning Exemption by PADEP.
  4. Water Supply – Detailed design / approval provided by Pennsylvania American Water Company.
  5. Highway Occupancy Permit – Issued by PennDOT for driveway access to state highways.
- Approval of this plan is contingent upon the above-listed approvals. Any revisions to these plans as a result of outside agency approvals shall be reflected on the Final Plan prior to recordation.

**CERTIFICATE OF OWNERSHIP, ACKNOWLEDGMENT OF PLAN AND OFFER OF DEDICATION**

COMMONWEALTH OF PENNSYLVANIA,  
COUNTY OF CUMBERLAND

On this, the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, before me, the undersigned person, personally appeared \_\_\_\_\_, of the Strong & Detweiler Partnership, a Pennsylvania company, who being duly sworn according to the law, deposes and says that the partnership is the Owner of the property shown on this plan, that they are authorized to execute said plan on behalf of the partnership, that the plan is the act and deed of the partnership, that the partnership desires the same to be recorded and on behalf of the partnership.

My Commission Expires \_\_\_\_\_, 20\_\_\_\_.

It is hereby certified that the undersigned are the owner(s) of the property shown in this plan and that all streets, easements and right-of-way or part thereof, if not previously dedicated are hereby tendered for dedication to the public use. The stormwater management facilities and BMP's to be permanent fixtures can be altered or removed only after approval of a revised plan by Lower Allen Township.

Owner: \_\_\_\_\_

**CERTIFICATE OF OWNERSHIP, ACKNOWLEDGMENT OF PLAN AND OFFER OF DEDICATION**

COMMONWEALTH OF PENNSYLVANIA,  
COUNTY OF CUMBERLAND

On this, the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, before me, the undersigned, personally appeared Ruth D. Leshar, who being duly sworn according to the law, deposes and says that she is the Owner of the property shown on this plan, that she is authorized to execute said plan, that the plan is the act and deed of the individual, and that the individual desires the same to be recorded.

My Commission Expires \_\_\_\_\_, 20\_\_\_\_.

It is hereby certified that the undersigned are the owner(s) of the property shown in this plan and that all streets, easements and right-of-way or part thereof, if not previously dedicated are hereby tendered for dedication to the public use. The stormwater management facilities and BMP's to be permanent fixtures can be altered or removed only after approval of a revised plan by Lower Allen Township.

Owner: \_\_\_\_\_

**CERTIFICATE OF OWNERSHIP, ACKNOWLEDGMENT OF PLAN AND OFFER OF DEDICATION**

COMMONWEALTH OF PENNSYLVANIA,  
COUNTY OF LANCASTER

On this, the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, before me, the undersigned person, personally appeared \_\_\_\_\_, being \_\_\_\_\_ of the Arcona Commons Properties LP, a Pennsylvania company, who being duly sworn according to the law, deposes and says that the company is the Owner of the property shown on this plan, that they are authorized to execute said plan on behalf of the company, that the plan is the act and deed of the company, and that the company desires the same to be recorded and on behalf of the company.

My Commission Expires \_\_\_\_\_, 20\_\_\_\_.

It is hereby certified that the undersigned are the owner(s) of the property shown in this plan and that all streets, easements and right-of-way or part thereof, if not previously dedicated are hereby tendered for dedication to the public use. The stormwater management facilities and BMP's to be permanent fixtures can be altered or removed only after approval of a revised plan by Lower Allen Township.

Owner: \_\_\_\_\_

**CERTIFICATE OF OWNERSHIP, ACKNOWLEDGMENT OF PLAN AND OFFER OF DEDICATION**

COMMONWEALTH OF PENNSYLVANIA,  
COUNTY OF LANCASTER

On this, the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, before me, the undersigned person, personally appeared \_\_\_\_\_, being \_\_\_\_\_ of the Charter Homes Development Company, a Pennsylvania company, who being duly sworn according to the law, deposes and says that the company is the Owner of the property shown on this plan, that they are authorized to execute said plan on behalf of the company, that the plan is the act and deed of the company, and that the company desires the same to be recorded and on behalf of the company.

My Commission Expires \_\_\_\_\_, 20\_\_\_\_.

It is hereby certified that the undersigned are the owner(s) of the property shown in this plan and that all streets, easements and right-of-way or part thereof, if not previously dedicated are hereby tendered for dedication to the public use. The stormwater management facilities and BMP's to be permanent fixtures can be altered or removed only after approval of a revised plan by Lower Allen Township.

Owner: \_\_\_\_\_

**CERTIFICATE OF ACCURACY (BOUNDARY & TOPO SURVEY)**

I hereby certify that, to the best of my knowledge, the Boundary and Topographic survey shown and described hereon is true and correct to the accuracy required by the Subdivision and Land Development Ordinance of Lower Allen Township.

For Howell Surveying  
\_\_\_\_\_, 20\_\_\_\_.

**CERTIFICATE OF ACCURACY (LOT SURVEY)**

I hereby certify that, to the best of my knowledge, the Lot survey shown and described hereon is true and correct to the accuracy required by the Subdivision and Land Development Ordinance of Lower Allen Township.

For Towne Square Engineering  
\_\_\_\_\_, 20\_\_\_\_.

**CERTIFICATE OF ACCURACY (PLAN)**

I hereby certify that, to the best of my knowledge, the plan shown and described hereon is true and correct to the accuracy required by the Subdivision and Land Development Ordinance of Lower Allen Township.

For Towne Square Engineering  
\_\_\_\_\_, 20\_\_\_\_.

**STORMWATER MANAGEMENT DATA CERTIFICATION**

I, G. Mitchell King, P.E., P.L.S., on this date 3/25/26 have reviewed and hereby certify that the drainage plan meets all design standards and criteria of the Lower Allen Township Act 167 Stormwater Management Ordinance.

For Towne Square Engineering  
G. Mitchell King

**CUMBERLAND COUNTY COUNTY PLANNING DEPARTMENT**

REVIEWED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_,  
BY THE CUMBERLAND COUNTY COUNTY PLANNING DEPARTMENT.

**DIRECTOR OF PLANNING**

Approved by the Board of Commissioners, Lower Allen Township, Cumberland County County, PA

Approved this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.  
Conditions of Approval Completed this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

\_\_\_\_\_  
President Secretary

**BMP CERTIFICATION**

I acknowledge the stormwater management facilities and BMPs to be permanent fixtures that can be altered or removed only after approval of a revised plan by the municipality.

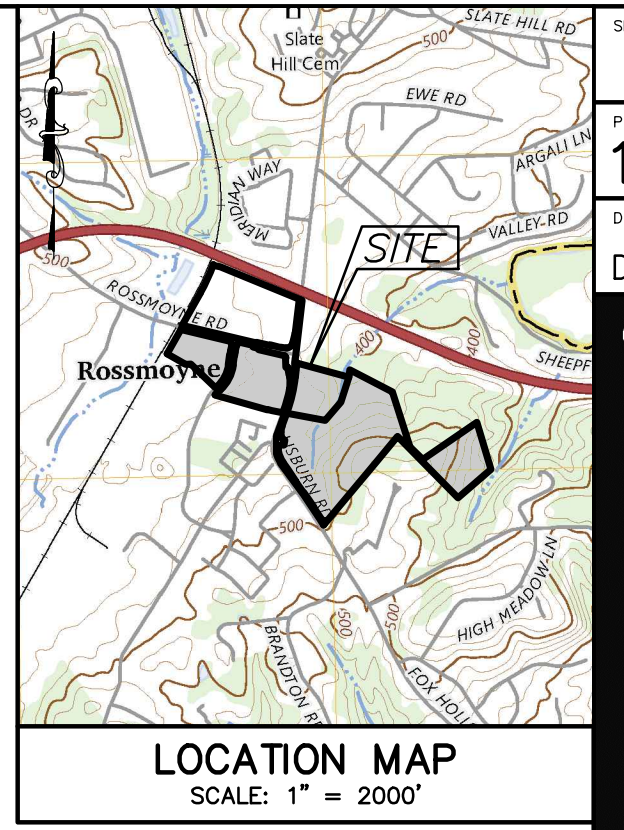
LANDOWNER

**CERTIFICATE FOR REVIEW BY THE TOWNSHIP PLANNING COMMISSION**

Reviewed by the Township Planning Commission, Lower Allen Township, Cumberland County County, PA

Reviewed this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

\_\_\_\_\_  
Chairman Secretary



Sheet Number: 01 of 81  
Project Number: 15-100-35  
Date: DECEMBER 17, 2025

**REMAINING ARCONA NEIGHBORHOODS**  
Lower Allen Township - Cumberland County, PA  
CHARTER HOMES & NEIGHBORHOODS  
COVER SHEET

Drafting: D TURNER  
Checked by: K POSTLETHWAIT  
Project Surveyor: THOMAS K. PHILLIPS PLS  
Scale: 1" = 300'

Project Manager: DAVID B. KEGERIZE PE  
Project Engineer: G. MITCHELL KING PE, PLS  
Project Surveyor: THOMAS K. PHILLIPS PLS

313 W. Liberty St., Suite 241  
Lancaster, PA 17603  
Phone: (717) 283-4538  
info@townesquareengineering.com  
**TOWNE SQUARE ENGINEERING**  
**Civil Engineers & Land Planners**

Section Number: CV-1

3/27/26	ADDRESS TMP. ENG. LTR. DATED 3/19/26
2/24/26	UPDATE PLAN TO REMOVE NEIGHBORHOOD 7
2/10/26	ADDRESS CDD & TMP. ENG. COMMENTS
1/19/26	REVISOR FOR CHAN CHANGES

DATE REVISIONS

**SURVEY NOTES:**

- Boundary, topography and physical improvements shown are from field survey by Howell Surveying performed on 11/06/2025.
- This survey was performed without the benefit of a current title report, which would disclose any right, reservations, easements, etc. of record.
- Contours plotted from field run topographic survey by Howell Surveying and supplemented with LIDAR drone flight conducted by Howell Surveying.

Datum: NAVD 88 (computed using Geoid18) & NAD 83 (2011) (Epoch:2010.0000) (as determined by GPS observation)

Site Bench: Top of sanitary manhole located along centerline of Rossmoyne Road, being approximately 60 feet northwest from center line of Norfolk-Southern Railroad crossing.

Elevation: 429.44'

Contour Interval: 2 foot

- Underground utilities shown were plotted from observable evidence at the time of survey and information from plans supplied by utility companies. No guarantee is made that underground utilities are accurately or completely shown herein.
- All features shown are existing unless otherwise noted.
- Zoning information obtained from the Lower Allen Township Zoning Ordinance of 2009, as amended through 1/27/2025. Project engineer is responsible for checking latest township ordinances for any & all updates or township revisions.
- Gross lot area is calculated to the title line. Net lot area will exclude existing street and railroad right-of-ways and include any internal, easements or right-of-way requirements.
- The marker designation (set) indicates that the described marker will be set as part of this survey. The designation (fnd) indicates that the marker was found during the field survey. Open circle with no designation indicates no marker found or set as part of this survey.
- The Site bearing orientation is referenced from Grid North based on the Pennsylvania State Plane Coordinate System (South Zone) which was derived from GPS measurements. The site Horizontal Adjustment is CORS 96.
- The soils and soils data shown on this plan are taken from the NRCS Web Soil Survey, run done on September 15, 2025.
- Monuments must be set (1) at the intersection of lines forming angles in the boundaries of the subdivision, (2) at such intermediate points as may be required by Municipal Engineer. Markers shall be set (1) at all corners except those monumented, (2) at the center right-of-way lines, and (3) by the time the property is offered for sale.
- Underground utilities have been shown according to information provided by others and must be field verified prior to construction, excavation or blasting. The actual locations of these utilities have not been field verified and the locations are approximate. Towne Square Engineering does not make any representation, warranty, assurance or guarantee that the underground utility location information provided by others and reflected on these drawings is correct and accurate. Towne Square Engineering assumes no responsibility for any damage incurred as a result of underground utilities omitted or inaccurately shown.
- A FEMA designated floodplain is not present on the Arcona Neighborhood 3, 4, 5, 6, & 7 properties per FEMA Map 42041C0279F & 42041C0283F, both dated 9/7/2023.
- The 100-year (1%-chance) flood plain shown on the plans is taken from an approximate flood plain study prepared by Towne Square Engineering and documented in Appendix I of the PCSM Report for Arcona, Phases 3, 4, 5, 6, & 7, dated December 12, 2025, revised February 12, 2026. The floodway is the same as the flood plain for these areas, creeks.

**WETLANDS NOTES:**

- The Wetland Delineation on the Arcona Neighborhood 3, 4, 5, 6 & 7 and updated letter was prepared by Vortex Environmental, Inc. dated December 5, 2025. Field location of wetland flags was performed by Howell Surveying.
- No earth disturbance, fill or other encroachment shall be permitted within the wetlands. Waters of the U.S. or Waters of the Commonwealth shown on these plans without prior approval of the proper Federal, State and Local Authorities.

**GENERAL DESIGN NOTES:**

- The intent of this plan is to further subdivide existing Arcona Neighborhood Lots 3, 4, 5, 6, into residential and nonresidential lots and to provide for land development of these lots. This plan is a preliminary subdivision and land development plan for existing Arcona Neighborhood Lots 3, 4, 5, and 6 and a final subdivision and land development plan for Arcona Neighborhood lots 3, 4, 5, and 6.
- Any revisions made to these plans after the date of plan preparation or latest revision date shall not be the responsibility of TOWNE SQUARE ENGINEERING.
- The footprints and configurations of buildings, driveways, and their locations within lots, as depicted on these plans, are illustrative only and intended to illustrate the minimum setbacks and setbacks required by the Township Zoning Ordinance. The actual footprint, configuration and location of each building or driveway that is to be constructed shall be depicted in building permit plans that are submitted with the building permit application for each such building. All such buildings and driveways shall comply with all applicable zoning and subdivision ordinances.
- It is the responsibility of the Developer to obtain any and all permits or approvals required for the construction of the improvements shown on this plan. All construction shall be in conformance with the Lower Allen Township specifications in effect at the time of construction.
- It is the Contractor's responsibility to be aware of applicable standards and specifications as well as the required methods of construction. All deviations from the plans must be approved prior to construction.
- Any blasting will require obtaining a State Permit and prior notification to the Township.
- No building construction shall occur until the building permits are issued in accordance with Lower Allen Township.
- No permit will be issued for any additional installation or construction of impervious coverage unless Lower Allen Township has approved a Drainage Plan in accordance with the Lower Allen Township Stormwater Management Ordinance.
- No one shall scale from these plans for construction purposes.
- Connection to public sewer and public water is required for all new lots and units.
- The Township is not responsible for construction or maintenance of any facility not dedicated for public use. Sanitary sewer facilities are proposed to be dedicated to Lower Allen Township Authority. Potable water facilities are proposed to be dedicated to PA American Water Company.
- It will be the Contractor's responsibility to ensure that the grading plan is implemented correctly, and that proper drainage is provided during construction.
- Lower Allen Township shall be notified in the event sinkholes are encountered during construction. The services of a registered geologist shall be obtained to assist in recommending construction techniques and permanent facilities necessary to avoid further sinkhole creation and with regard to the repair of any existing sinkholes.
- Representatives of the Township may enter, at reasonable times, upon any property, within the Township, to investigate or ascertain the condition of the subject property in regard to any aspect regulated by the Lower Allen Township Subdivision / Land Development and / or Stormwater Management Ordinance.
- Contractor shall schedule a pre-construction site meeting with the Township Engineer at least 48 hours prior to starting site construction activities.
- Site disturbance is permitted to start only if and when sufficient time is available to stabilize disturbed areas in accordance with PADEP requirements and with the approved plan.
- A Neighborhood Association (NA) will own and maintain all open space areas.
- Recreation requirements are to be satisfied in accordance with the recreation proposal in the Overall Master Plan accepted by the Board of Commissioners on December 14, 2015. Under SALDO Section 192-60 E & F and Lower Allen Township fee schedule, Charter Homes is proposing to provide a recreation fee per dwelling unit in lieu of recreation land in the amount of (i) \$1,000 when the cumulative density for the Arcona TND, is less than or equal to six dwelling units per acre, (ii) \$1,250 when such cumulative density is greater than six but less than or equal to seven dwelling units per acre, (iii) \$1,500 when such cumulative density is greater than seven units per acre. This recreation fee per dwelling unit shall be paid when individual building permits are issued for the community.
- Highpoint, Arcona Phase 2.1, 2.2, 2.3, Arcona Neighborhoods 8.1, 8.2, 8.3, 9, 3, 4, 5, 6, & 7 propose a total of 1095 (1082) dwelling units on 214.6 acres, which equates to a density of 5.04 dwelling units per acre. Pursuant to Sections 220-126.A and B of the Zoning Ordinance and Section 192-68.E of the SALDO, this density is permitted because (i) cumulatively for such spaces, 54.7 acres of common open space is proposed to be provided, which exceeds 150% of the amount of common open space that is required under Section 220-131 of the Zoning Ordinance, and (ii) recreation fees are to be paid based upon approved cumulative density as provided in General Design Note 19 above.
- ADA compliant ramps shall be constructed at all locations where sidewalk and trails intersect vehicular traffic.
- All signage shall meet the requirements of Lower Allen Township Zoning Ordinance Article (§220-132.2).
- Per Zoning Section 220-127.B, there are no multi-family, live-work nor accessory dwelling units located in Neighborhood 4, 5, & 6.
- Applicant and Owner acknowledge that certain site improvements depicted on this plan, including but not limited to accessible parking spaces, accessible route to the building and freestanding signs, that require approval under regulations contained in the PA uniform construction code and/or Lower Allen Township zoning code must be installed in accordance with separate permit approvals granted under those regulations.
- Per Zoning § 220-247.A, No sign shall be placed, erected, altered, enlarged or relocated until a permit for doing so has been issued by the Zoning Officer. A construction permit shall also be required unless the sign proposal satisfies exemption criteria listed in Chapter 70, Building Construction and Safety Standards. Signs listed in § 220-251 herein are exempt from zoning permit requirements, provided that the use of such signs is in accordance with other provisions of this article. Applications shall be submitted on forms provided by the Township, shall indicate consent of the owner of the premises upon which the sign is to be located and shall be accompanied by supporting information that is sufficient to determine compliance with this article and any other relevant ordinances. Examples of supporting data that may be required include a scale drawing with relevant dimensions noted to illustrate the proposed height, area, size and sign copy, a plot plan of the property on which the sign will be located to illustrate the position of proposed signs relative to buildings, structures, lot lines and rights-of-way, illumination method and material, and support systems, structural loads, stresses and anchoring details. Compliance with performance criteria may require certification by a registered design professional.

**GENERAL UTILITY NOTES:**

- All easements shall be kept free of structures, fill and other encroachments that may adversely affect the function of the easement. The Owner shall not construct, plant, or maintain any structures, fences, trees, shrubbery, etc. within the sanitary sewer, stormwater or utility rights-of-way/easements, to ensure a free and clear access to all facilities.
- Electric, telephone, cable television, gas and all other utilities shall be installed underground and a minimum of five feet from sewer main center line. Developer responsible for relocation and reconnection to existing utilities.
- As-built plans will be required prior to dedication of public improvements including completed stormwater facilities.
- All proposed utility companies shall review the Final Plans prior to construction.
- Metallic tops shall be placed 6" above the top of all installed utilities.
- Electric transformers, communication boxes, gas meters, and water meters shall be kept a minimum of five feet from sewer main center line. Developer responsible for enforcement and relocations.

**UTILITY NOTES – SANITARY SEWER:**

- Public sanitary sewer service to be provided by the Lower Allen Township Authority.
- The sanitary sewer components of Arcona Neighborhoods Phases 3.1, 4, 5, & 6 Subdivision and Land Development Plan must be approved by the Lower Allen Township Authority.
- Developer offers for dedication to the Lower Allen Township Authority all sanitary sewer collection and/or interceptor lines constructed by the Developer with appurtenances and a perpetual easement for the maintenance, repair, replacement or enlargement thereof, together with the right of ingress, egress and regress thereof as shown on this plan.
- Sanitary sewer laterals shall not be placed in driveway areas, except where no alternative exists as determined by the Developer.
- All sanitary sewer construction and materials shall be accordance with the latest edition of the Lower Allen Township Authority rules and regulations.
- Manhole frame and cover shall be Lower Allen Township Authority Standard.
- All manhole frames must be bolted to the manhole by four (4) ½" stainless steel bolts spaced evenly around the frame, and imbedded at least 3" into the manhole. Manholes and sanitary sewer lines must be at least five (5') feet from the face of curb.
- Sanitary sewer pipe shall be manufactured to meet ASTM specifications D-3034-SDR35.
- Sanitary sewer pipe shall have a minimum of 5'-0" cover.
- Maximum spacing between clean-outs is 50 feet. Cleanouts shall be located 5' from building exterior.
- Existing sewer main flow and service shall be maintained during all phases of construction. The contractor shall provide a work plan prior to starting sewer construction that shows how flow will be maintained.
- Maintenance of sanitary sewer laterals off sanitary sewer mains within Arcona Neighborhoods will be the responsibility of the Owner(s) of Development Site later to sanitary sewer construction.
- Subgrade must be completed prior to sanitary sewer construction.
- The site shall be graded to the proposed new subgrade elevation prior to starting sewer line construction.
- The Property Owner is responsible for final surface restoration in non-public paved roads after Authority sewer main external repair and backfill to sub-grade.
- Trees shall not be planted within sewer easements.
- Retaining walls shall not be placed within sewer easements without prior Authority approval.
- Manholes in non-paved areas shall have watertight frame and covers.
- All non-residential units shall have separate water meters.
- Manholes having a depth greater than 12.5 feet shall have an inside diameter of 6 feet.
- Inside drop connections at manholes are not permitted without Authority prior approval.
- Undersized sewer pipe and manholes shall be completely removed.
- Changes in the approved plan sewer components require a revised plan submission and approval prior to construction.
- Sewer lateral connections to the sewer main or not allowed until all sewer main testing is complete, a sewer permit has been issued, and the lateral is inspected by the Authority from sewer main to building outside frame.
- Sanitary sewer lateral traps between the sewer main and outside building wall are not permitted.
- Authority inspector to be present when utilities crossing the sewer main are constructed.

**UTILITY NOTES – WATER SERVICE:**

- Public water service to be provided by Pennsylvania American Water Company.
- Water laterals shall not be placed in the driveway areas, except where no other alternative exists.
- All water line construction shall be in accordance with Pennsylvania American Water Company design drawings.
- Hydrant and fire flow requirements of Section 192-61.B to be met prior to occupancy.
- Final location of hydrants must be approved by the Lower Allen Department of Public Safety.

**UTILITY NOTES – STORM DRAINAGE:**

- Ownership and maintenance of the stormwater control measures (SCMs, i.e. stormwater infiltration trenches and basins) on Neighborhoods 3.1, 4, 5, 6, & 7 shall be the responsibility of the Neighborhood Association (N.A.). The responsible parties shall maintain the storm sewers, swales, and all other stormwater facilities in design condition and free of fill or other obstructions. Maintenance shall include, but not be limited to normal maintenance as well as repair of structural damage or deterioration of any kind, including but not limited to: sinkholes, erosion or other events.
- All stormwater facilities not within the street right-of-way shall be provided with an easement as shown on the plans.
- All storm drainage pipe shall be smooth interior unless otherwise noted.
- All storm sewer materials and installation shall be per the Lower Allen Township specifications as amended.
- A revision which involves a change in stormwater management control methods or techniques, or which involves the relocation or redesign of control measures or their location, or which is necessary because soil or other conditions are not as stated on the approved plan, shall require a resubmission by the applicant in accordance with the plan requirements as set forth in the Stormwater Management Ordinance.
- Manholes shall be placed, planted, set, or put within the area of an easement that would adversely affect the function of the easement.
- Lower Allen Township shall have the right to:
  - Access the site to inspect stormwater facilities at any reasonable time.
  - Require that the land owner take corrective measures and assign the land owner reasonable time periods for any necessary action.
  - Authorize Maintenance to be done and lien all cost of all work against the properties or the private entity responsible for maintenance.
- If the Township determines, at any time, that any permanent stormwater management facility has been eliminated, altered, or improperly maintained, the landowner of the facility shall be advised of corrective measures required and given a reasonable period of time within which to take such corrective action. If such corrective action is not taken by the owner, the Township may cause the work to be done and shall take the appropriate action to a file a municipal claim pursuant to the PA Municipal claims and tort liens Act.
- The Developer shall be responsible for completing a "Record Survey" of all stormwater management facilities included with the approved stormwater management plan.
- Lot owner is required to maintain lot grading and surface drainage patterns and characteristics in accordance with the approved plan.
- Lot owner shall be responsible for the implementation and maintenance of soil erosion control measures.
- Manhole covers shall be of the same design as the "State Highway Standard" Stormwater identification purposes.
- Construction of all work within the public street right-of-way and work related to storm drainage facilities requires inspection by the Township. Provide a minimum 48-hour notice to the Township before starting work.
- Individual lot grading plans shall be required prior to the issuance of a building permit for the respective lot.

**GENERAL STREET NOTES:**


- All work shall be in accordance with PennDOT Publication 408, Specifications and Publication 72, Roadway Construction Standards, unless otherwise noted.
- Work Zone Traffic Control shall be in accordance with PennDOT Publication 213 and approved HOP plan for improvements.
- A Right-of-Way Permit is required before starting any work within the public street right-of-way.
- The Developer shall be responsible for the installation and maintenance of all traffic control signs and pavement markings. All pavement markings shall be hot thermoplastic.
- Traffic control signs and pavement markings shall be installed in accordance with all PennDOT standards and regulations in effect at the time of street delineation.
- All pedestrian crossings shall be clearly delineated.
- All handicapped accessible ramps shall be designed and constructed in accordance with the applicable standard requirements by PADOT.
- ADA compliant accessible curb ramps shall be provided at all sidewalk/trail and street intersections where required.
- No buildings, wall, fence, landscaping, or plantings shall be erected, altered, or maintained, and no hedge, tree, or growth shall be planted or maintained, which, in each case, exceeds 30 inches within the clear sight distance at intersections. Any tree limbs extending into the clear sight distance must be limbed to a height greater than 8 feet.
- Street access for proposed residential lots shall be from internal streets and or alleys only, under no circumstance shall proposed residential lots be permitted access to Rossmoyne Road or Lisburn Road.
- Single-Family front lot driveways must be 18' (Min.) deep, measured from street right-of-way.
- NOTICE – A PennDOT highway occupancy permit for access to Rossmoyne Road and Lisburn Road is required pursuant to Section 420 of the Act of June 1, 1945 (P.L. 1242, No. 428), known as the "State Highway Law," before driveway access to a state highway is permitted. Access to the state highway shall be only as authorized by a PennDOT highway occupancy permit. No building permits, zoning permits or certificates of occupancy shall be issued until such time as a PennDOT highway occupancy permit has been secured and filed with the Township. The Township shall not be held liable for damages to persons or property arising out of issuance or denial of a highway occupancy permit by the Pennsylvania Department of Transportation, pursuant to Section 508 of the Pennsylvania Municipalities Planning Code. The Township's approval of this plan in no way implies that such permit can be obtained. HOP approval will be provided to the township upon our receipt.
- Exact locations and dimensions of proposed re-location of existing poles, signs, etc., along Rossmoyne Road and Lisburn Road will be shown on the HOP Plan prepared by others.
- All streets and alleys in Arcona Neighborhood 3.1, 4, & 5 or "Private". There are only access drives in Arcona Neighborhood 6. All Strong Road and Rossmoyne Road roundabout access / right-of-way areas are "Public" will be shown on the HOP Plan prepared by others.

**SLOPE REINFORCEMENT AND RETAINING WALL NOTES:**

- Slope reinforcement and retaining walls shall be designed by a Professional Engineer experienced in geotechnical and retaining wall design. Specific calculations and design details will be provided to Township prior to construction.
- A licensed geotechnical engineer qualified in soils and with experience in segmental retaining walls shall oversee and certify the construction of all retaining walls.
- A licensed geotechnical engineer qualified in soils and with experience in slope reinforcement shall oversee and certify the construction of all slope reinforcement.
- A geotechnical engineer shall have all soils tested and approved for use in the construction of the retaining wall prior to their construction.
- Copies of all geotechnical reports, site observations and soil testing performed in relation to slope and retaining wall design and construction shall be provided to Lower Allen Township as they become available.
- All soils shall be compacted to 95% of the maximum dry density as specified by the modified proctor method (ASTM-d1557) or as otherwise directed by the site geotechnical engineer.
- Upon completion of each retaining wall, the geotechnical engineer shall submit to Lower Allen Township a geotechnical report documenting all parameters actually used in the field, provide comparison to the design values and document the acceptability of the as-built conditions.
- All stabilized slopes and retaining walls shown on plan shall be maintained by the NA.

**WAIVERS:**

**LIST OF REQUESTED WAIVERS & MODIFICATIONS**

In:  Before You Dig Anywhere

STOP! CALL 811 (or 1-800-242-1776 outside of PA) TOLL FREE

PA Act 287 (amended by Act 121 (2006)) requires notification to ONE CALL SYSTEM 3 working days prior to construction phase and 10 working days for design phase before you excavate.

PA ONE CALL SYSTEM, INC.  
(CALL MADE BY : Howell Surveying)

Design Phase SERIAL # 20240612619 (LOWER ALLEN TOWNSHIP)

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**Utilities Listing – Lower Allen Township**

COMPANY: PENNSYLVANIA AMERICAN WATER ADDRESS: 822 WISLEY DR MECHANICSBURG, PA. 17055 CONTACT: JEFF DREW EMAIL: JEFF.DREW@PAWATER.COM PHONE: 717-350-1516	COMPANY: LOWER ALLEN TOWNSHIP ADDRESS: 2233 GETTYSBURG RD CAMP HILL, PA. 17011 CONTACT: BRUCE THOMPSON EMAIL: BTHOMPSON@LATWP.ORG PHONE: 717-944-5972	COMPANY: UOI ENERGY SERVICES CORPORATION ADDRESS: 835 KAITING HILLS WAY WYOMING, PA. 19610 CONTACT: JASON DEERSON EMAIL: jdeerson@jes.com PHONE: 610-344-2872	COMPANY: UOI UTILITIES INC. ADDRESS: 1301 AIP DR MIDDLEBERT, PA. 17057-5987 CONTACT: GEOFFREY FERUSON EMAIL: GFERUSON@UOI.COM PHONE: 610-807-3118
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At a meeting held on \_\_\_\_\_, the Lower Allen Township Board of Commissioners approved the following waivers and modifications of the Lower Allen Township Subdivision and Land Development Ordinance:

- Waiver from Section 184-19.0.(20) requiring underdrain at all low points on the street profile.
- Waiver from Section 184-19.0.(21) requiring pavement base drain in accordance with PennDOT specifications.

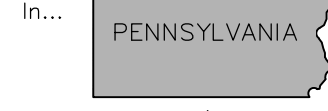
ZONING INFORMATION - ARCONA Neighborhoods 3.1, 4, 5, 6, & 7			
LOCATION: Off Rossmoyne Road and Lisburn Road, Lower Allen Township, Cumberland County, PA			
ZONE: R-2, Single-Family Rural Residential District, Traditional Neighborhood Development Overlay			
PROPOSED USE: 44 Lots SF-Detached, 88 Units SF-Attached & 7 Mixed Use Residential - (Including accessory structures to single-family dwellings)			
#	ITEM	REQUIRED	PROPOSED VARIANCE
1	MAXIMUM BUILDING HEIGHT	40 ft.	40 ft. NO
2	MAXIMUM DENSITY - Arcona to Date + Highpoint (See TND Tracking by Neighborhood Chart on LY-1)	4 Dwelling Units per ac. (up to 8)	+/- 4.73 NO
3	MINIMUM LOT AREA - Single-Family Detached	4,000 s.f.	4,000 s.f. NO
4	MINIMUM LOT AREA - Single-Family Attached (Townhouse)	1,560 s.f.	1,560 s.f. NO
5	MINIMUM LOT WIDTH - Single-Family Detached	40 ft.	40 ft. NO
6	MINIMUM LOT WIDTH - Single-Family Attached (Townhouse)	20 ft.	20 ft. NO
7	IMPERVIOUS COVER - Arcona to Date + Highpoint (See TND Tracking by Neighborhood Chart on LY-1)	≤ 50% Overall for the TND	+/- 38.4% NO
8	MINIMUM SETBACK - FRONT - Single-Family Detached or Single-Family Attached (Townhouse)	5 ft.	5 ft. NO
9	MAXIMUM SETBACK - FRONT - Single-Family Detached or Single-Family Attached (Townhouse)	25 ft.	25 ft. NO
10	MINIMUM SETBACK - SIDE - Single-Family Detached	Total no less than 10 ft. - 5 ft. one side.	10 ft. / 5 ft. NO
11	MINIMUM SETBACK - SIDE - Single-Family Attached (Townhouse)	0 ft. / 8 ft. one side	0 ft. / 8 ft. NO
12	MINIMUM SETBACK - REAR - Single-Family Detached or Single-Family Attached (Townhouse)	25 ft.	25 ft. NO
13	MINIMUM SETBACK - REAR - Single-Family Detached or Single-Family Attached (Townhouse) (**served by rear-load alley)	**5 ft.	5 ft. NO
14	WATER	Public	Public NO
15	SANITARY SEWER	Public	Public NO

ZONING INFORMATION - ARCONA Neighborhoods 3.1, 5, & 6			
LOCATION: Off Rossmoyne Road and Lisburn Road, Lower Allen Township, Cumberland County, PA			
ZONE: R-2, Single-Family Rural Residential District, Traditional Neighborhood Development Overlay			
PROPOSED USE: Nonresidential Development Criteria for 49,625 S.F. Commercial			
#	ITEM	REQUIRED	PROPOSED VARIANCE
1	MAXIMUM BUILDING HEIGHT	40 ft.	≤ 40 ft. NO
2	MAXIMUM BUILDING HEIGHT (Buildings that contain multifamily dwellings and/or live-work units)	50 ft.	≤ 50 ft. NO
<b>LARGE SINGLE-USE COMMERCIAL LOTS</b>			
3	MINIMUM LOT AREA	20,000 s.f.	- NO
4	MAXIMUM LOT AREA	150,000 s.f.	- NO
5	MINIMUM LOT WIDTH AT ROW LINE	80 ft.	- NO
6	MAXIMUM LOT WIDTH AT ROW LINE	300 ft.	- NO
<b>STANDARD SINGLE-USE COMMERCIAL LOTS</b>			
7	MINIMUM LOT AREA	7,200 s.f.	- NO
8	MAXIMUM LOT AREA	75,000 s.f.	- NO
9	MINIMUM LOT WIDTH AT ROW LINE	40 ft.	- NO
10	MAXIMUM LOT WIDTH AT ROW LINE	150 ft.	- NO
<b>SINGLE-USE COMMERCIAL LOTS -designed and constructed as an integral part of a continuous commercial frontage</b>			
11	MINIMUM LOT AREA	2,000 s.f.	- NO
12	MAXIMUM LOT AREA	10,000 s.f.	- NO
13	MINIMUM LOT WIDTH AT ROW LINE	20 ft.	- NO
14	MAXIMUM LOT WIDTH AT ROW LINE	150 ft.	- NO
<b>MULTIPLE-USE LOTS</b>			
15	MINIMUM LOT AREA	NONE	- NO
16	MAXIMUM LOT AREA	NONE	- NO
17	MINIMUM LOT WIDTH AT ROW LINE	NONE	- NO
18	MAXIMUM LOT WIDTH AT ROW LINE	NONE	- NO
<b>MAXIMUM AREA WITHIN THE CORE</b>			
19	MAXIMUM AREA WITHIN THE CORE NEIGHBORHOOD ESTABLISHED AS LARGE SINGLE-USE COMMERCIAL LOTS	≤ 30% OF THE CORE NEIGHBORHOOD	0% NO
<b>YARDS</b>			
20	MINIMUM FRONT YARD DEPTH - Provided (a) Required parking in rear or side only (b) Primary access is at the front property line & (c) Front access is part of a coordinated pedestrian access system	0 ft.	5 ft. NO
21	MINIMUM SETBACK - FRONT - Principal building space	5 ft.	5 ft. NO
22	MAXIMUM SETBACK - FRONT - No parking in front	15 ft.	≤ 15 ft. NO
23	MAXIMUM SETBACK - FRONT - Parking in front yard	90 ft.	≤ 90 ft. NO
24	MINIMUM SETBACK - REAR - Principal building	35 ft.	35 ft. NO
25	MINIMUM SETBACK - REAR - Principal building containing mix of residential and nonresidential uses	5 ft.	5 ft. NO
26	MINIMUM SETBACK - SIDE - Constructed as an interior part of a continuous commercial frontage	0 ft.	0 ft. NO
27	MINIMUM SETBACK - SIDE - End units	10 ft.	10 ft. NO
28	MINIMUM SETBACK - SIDE - TOTAL	20 ft.	20 ft. NO
29	PERIMETER BUFFER FROM BOUNDARY OF TND TO RESIDENTIAL USES - When use is any other than single family residential	60 ft.	60 ft. NO
<b>SIZE LIMITATIONS ON NONRESIDENTIAL USES</b>			
30	BUILDINGS ON LARGE SINGLE-USE COMMERCIAL LOTS	15,000 sf. Gross floor area per floor	N/A NO
<b>MULTIPLE-USE BUILDINGS OTHER THAN VILLAGE COURT YARDS</b>			
31	(a) SINGLE OCCUPANT OR BUSINESS MAXIMUM GROSS FLOOR AREA PER FLOOR	15,000 sf. (Gross)	≤ 15,000 sf. NO
32	(b) PERCENTAGE OF NONRESIDENTIAL USES THAT EXCEED 4,000 SF. GROSS AREA PER FLOOR	50%	≤ 50% NO



Know what's below.  
Call before you dig.

Before You Dig Anywhere



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DESIGN PHASE SERIAL # 20240612619 (LOWER ALLEN TOWNSHIP)  
(CALL MADE BY : Howell Surveying)

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At a meeting held on \_\_\_\_\_, the Lower Allen Township Board of Commissioners approved the following waivers and modifications of the Lower Allen Township Stormwater Management Ordinance:

- Waiver from Section 184-19.0.(20) requiring underdrain at all low points on the street profile.
- Waiver from Section 184-19.0.(21) requiring pavement base drain in accordance with PennDOT specifications.

Sheet Number:  
**02 of 81**

Project Number:  
**15-100-35**

Date:  
**DECEMBER 17, 2025**



PA ONE CALL SYSTEM, INC.  
(CALL MADE BY : Howell Surveying)

**REMAINING ARCONA NEIGHBORHOODS**

Lower Allen Township - Cumberland County, PA

CHARTER Homes & Neighbors

**COVER SHEET – NOTES**



**LEGEND - EXISTING**

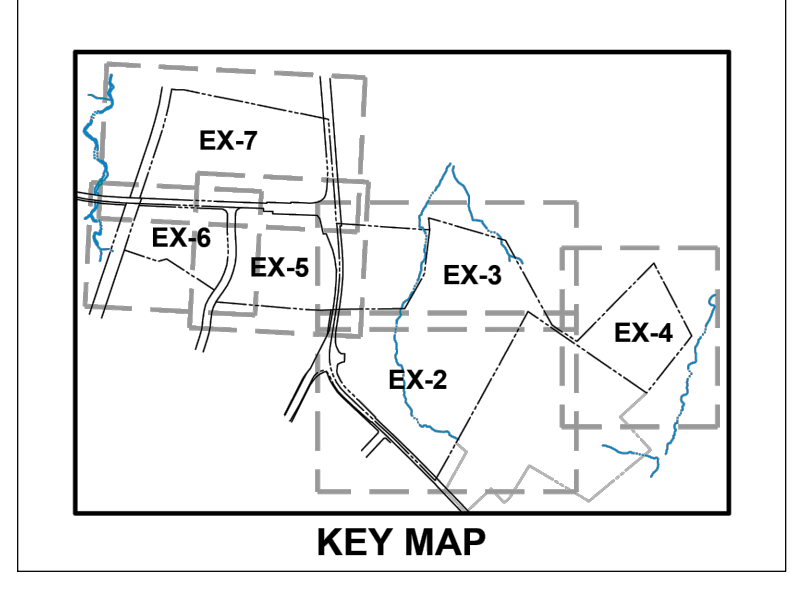
--- PROPERTY LINE	--- STORM INLET & PIPING	WV	WATER VALVE (MAIN)
--- RIGHT-OF-WAY LINE	--- ZONING LINE	CH	FIRE HYDRANT
--- EASEMENT LINE	--- MUNICIPALITY LINE	SO	GAS SHUT-OFF VALVE (SERVICE)
--- ROADWAY CENTERLINE	--- GUIDE RAIL	OV	GAS VALVE (MAIN)
--- CURB LINE	--- RAILROAD	SV	SEWER VENT
--- EDGE OF PAVEMENT	--- EDGE OF WATER (STREAM)	CO	SEWER CLEAN OUT
--- EDGE OF STONE	--- FLOODPLAIN	EO	ELECTRIC MANHOLE
--- MIN. BLDG SETBACK LINE	--- FLOODPLAIN	EM	STORM MANHOLE
--- SANITARY SEWER LINE	--- SOILS LINE	SM	SANITARY MANHOLE
--- SANITARY FORCE MAIN	--- TREELINE	TM	TELEPHONE MANHOLE
--- WATER LINE	DECIDUOUS TREE	TR	SIGN
--- GAS LINE	CONIFEROUS TREE	MB	MAIL BOX
--- OH	PROPERTY CORNER MARKER FOUND	DP	DEEP PROBE
--- OHC	PROPERTY CORNER	PH	PERCOLATION TEST HOLE
--- OHE	UTILITY POLE	W-4	WETLANDS
--- UE	LIGHT POLE	W-5	SLOPES - 15%-24.9%
--- OHT	LIGHT	W-6	SLOPES - 25%+
--- UT	WELL		
--- X X	WATER SHUT-OFF VALVE (SERVICE)		
--- -560			
--- -558			
X.391.25			

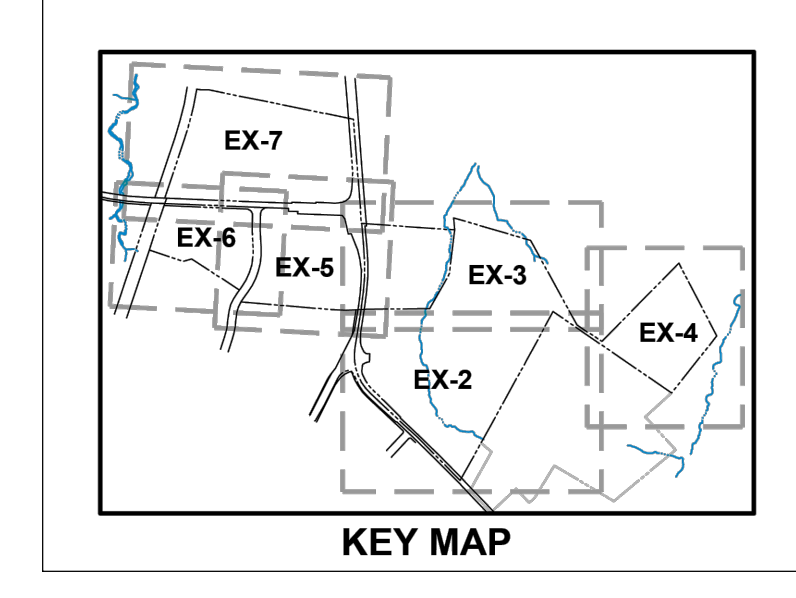
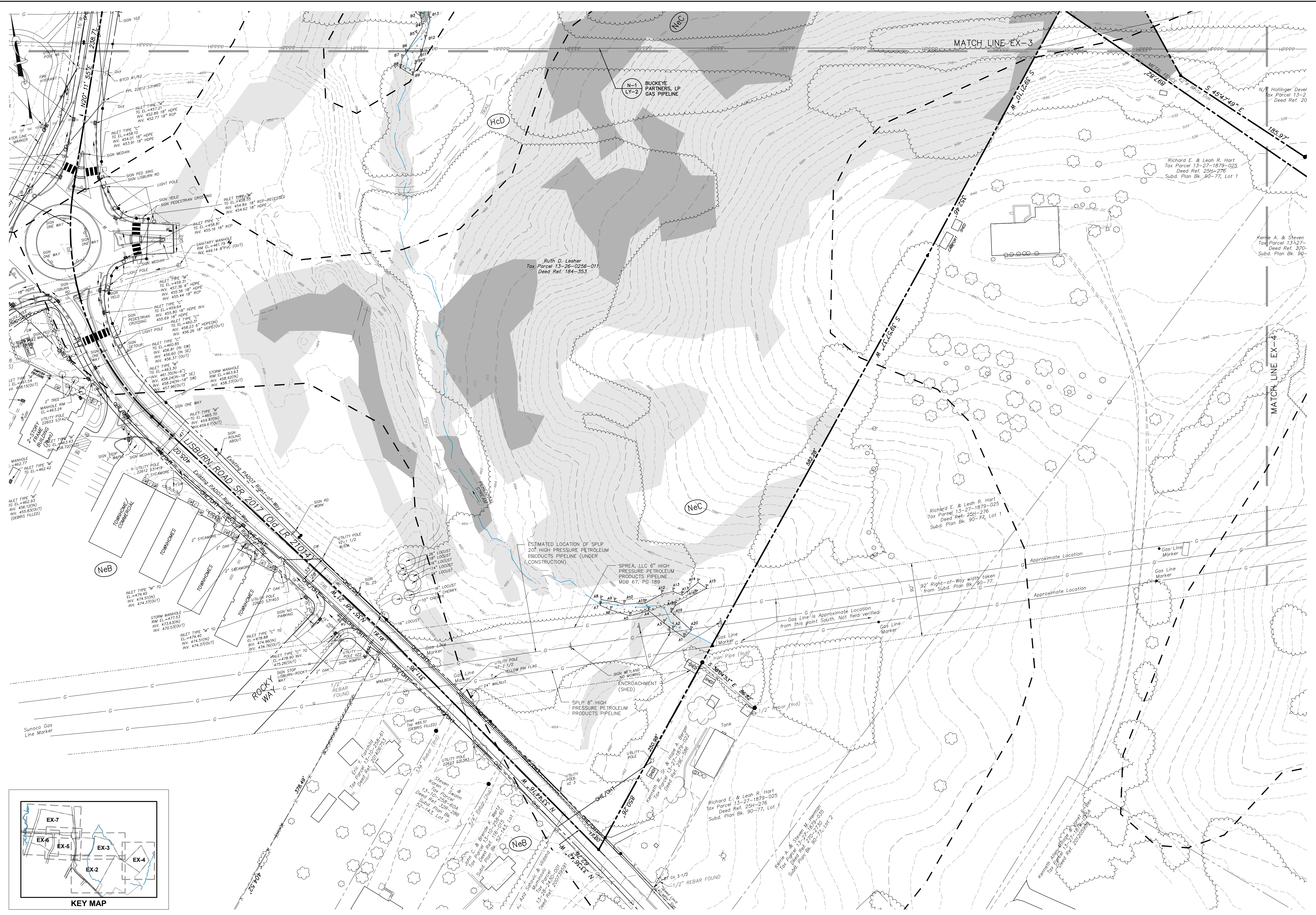
**SOILS LIST**

Symbol	Description	K-Factor
BdB	Bedington shaly silt loam 3-8% Slope	0.17
BdC	Bedington shaly silt loam 8-15% Slope	0.17
BdD	Bedington shaly silt loam 15-25% Slope	0.17
DuA	Duffield silt loam, 0-3% Slope	0.32
EdB	Edom silty clay loam 3-8% Slope	0.20
HaB	Hagerstown silt loam 3-8% Slope	0.37
HaC	Hagerstown silt loam 8-15% Slope	0.37
HcD	Hagerstown silt loam, rocky, 8-15% Slope	0.37
Me *	Melvin silt loam	0.43
NeB	Neshaminy gravelly silt loam, 3-8% Slope	0.24
NeC	Neshaminy gravelly silt loam, 8-15% Slope	0.24
NhD	Neshaminy very stony silt loam, 8-25% Slope	0.24
Pe *	Penlaw silt loam	0.37
W	Water	n/a

\* HYDRIC SOILS ARE PRESENT ON ARCONA PHASES 3, 4, 6, AND 7. DEPTH TO GROUNDWATER EXCEEDS 3'.

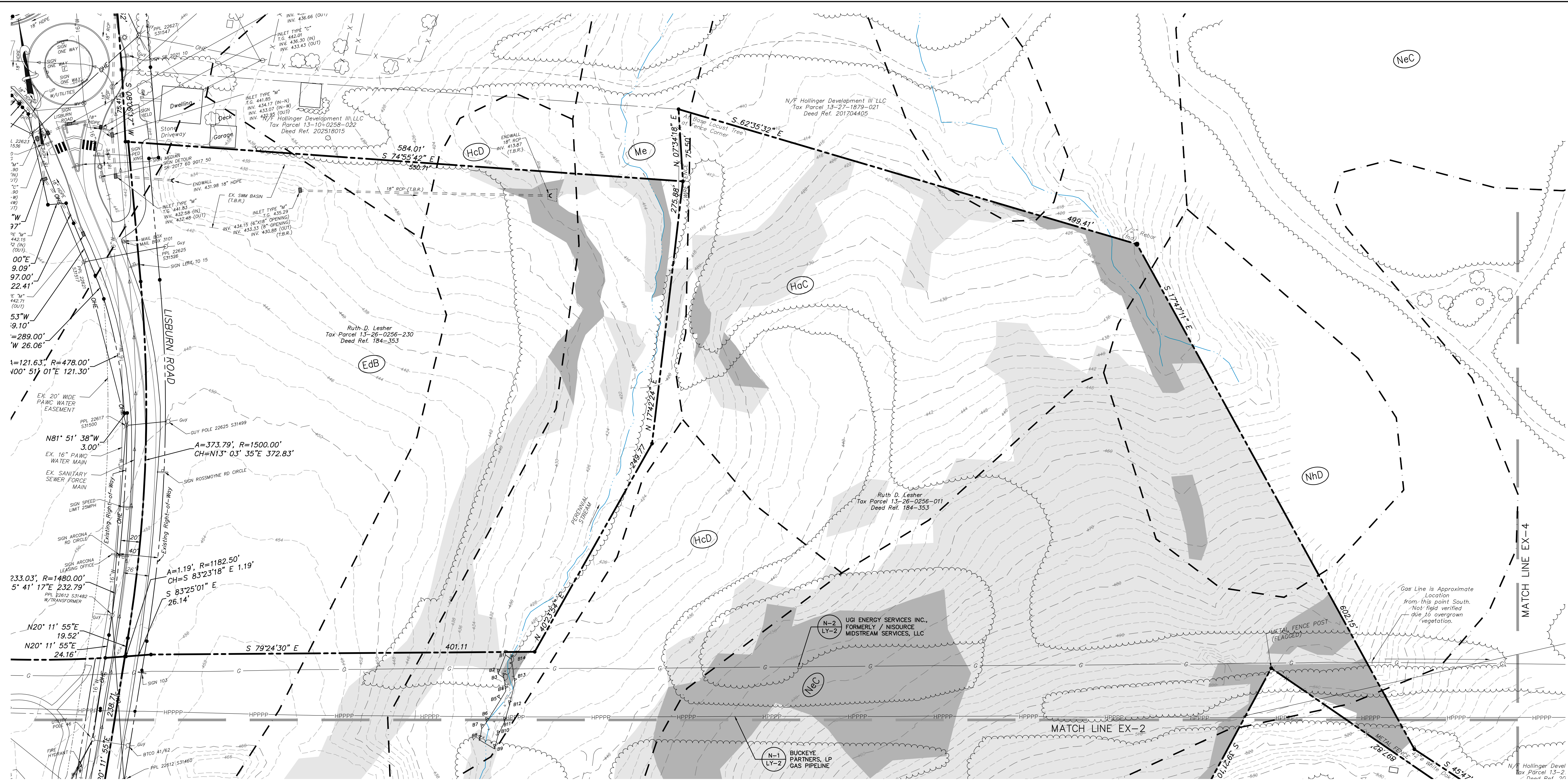
**WARNING:**  
GAS LINE MARKERS HAVE BEEN FOUND IN THE AREA OF ARCONA NEIGHBORHOOD 3, 4, & 5 AND ARE NOTED IN THIS PLAN SET. PLEASE CONFIRM LOCATION OF GAS LINE AND OTHER UNDERGROUND UTILITIES ON ARCONA PRIOR TO CONSTRUCTION ACTIVITIES AND EXERCISE EXTREME CAUTION WHEN EXCAVATING THE ARCONA SITE.





Sheet Number: <b>04 of 81</b>	
Project Number: <b>15-100-35</b>	
Date: <b>DECEMBER 17, 2025</b>	
<b>REMAINING ARCONA NEIGHBORHOODS</b>	
Lower Allen Township - Cumberland County, PA	
CHARTER Homes & Neighborhoods	
<b>EXISTING CONDITIONS PLAN - NEIGHBORHOOD 3</b>	
Project Manager: <b>DAVID B. KEGERIZE PE</b>	Drafting: <b>D TURNER</b>
Project Engineer: <b>G. MITCHELL KING PE, PLS</b>	Checked by: <b>K POSTLETHWAIT</b>
Project Surveyor: <b>THOMAS K. PHILLIPS PLS</b>	Scale: <b>1"=50'</b>
0 25 50 100 150 Feet	
Seal: <b>TOWNE SQUARE ENGINEERING</b> 313 W. Liberty St., Suite 241 Lancaster, PA 17603 Phone: (717) 283-4538 info@townesquareengineering.com <b>Civil Engineers &amp; Land Planners</b>	
Section Number: <b>EX-2</b>	3/27/26 ADDRESS TMP. ENG. LTR. DATED 3/19/26 2/24/26 UPDATE PLAN TO REMOVE NEIGHBORHOOD 7 2/10/26 ADDRESS CDDP & TMP. ENG. COMMENTS 1/19/26 REVISED FOR CHN CHANGES DATE REVISIONS
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Sheet Number:  
**05 of 81**  
 Project Number:  
**15-100-35**  
 Date:  
**DECEMBER 17, 2025**

**REMAINING ARCONA NEIGHBORHOODS**  
 Lower Allen Township - Cumberland County, PA  
 CHARTER Homes & Neighborhoods

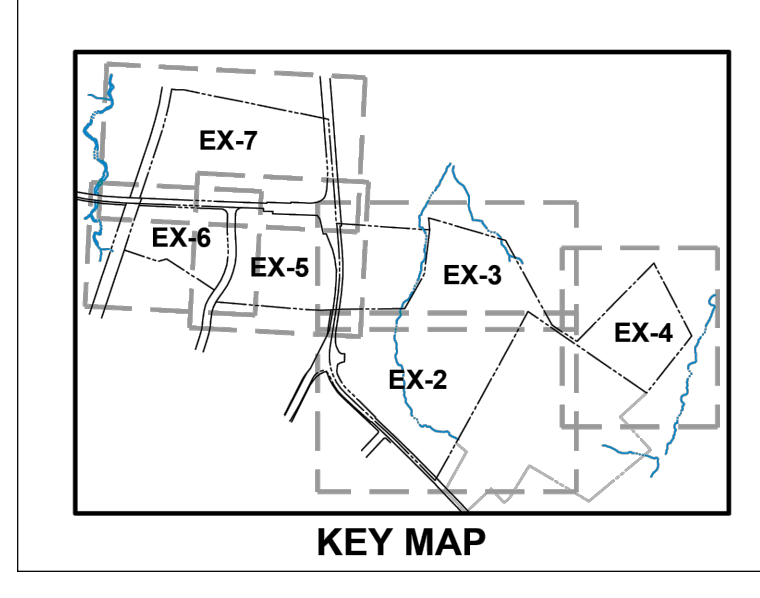
**EXISTING CONDITIONS PLAN - NEIGHBORHOOD 3 & 4**

Drafting: **D TURNER**  
 Checked by: **K POSTLETHWAIT**  
 Project Engineer: **G. MITCHELL KING PE, PLS**  
 Project Surveyor: **THOMAS K. PHILLIPS PLS**  
 Scale: **1"=50'**

Project Manager: **DAVID B. KEGERIZE PE**  
 Project Engineer: **G. MITCHELL KING PE, PLS**  
 Project Surveyor: **THOMAS K. PHILLIPS PLS**

Scale:  
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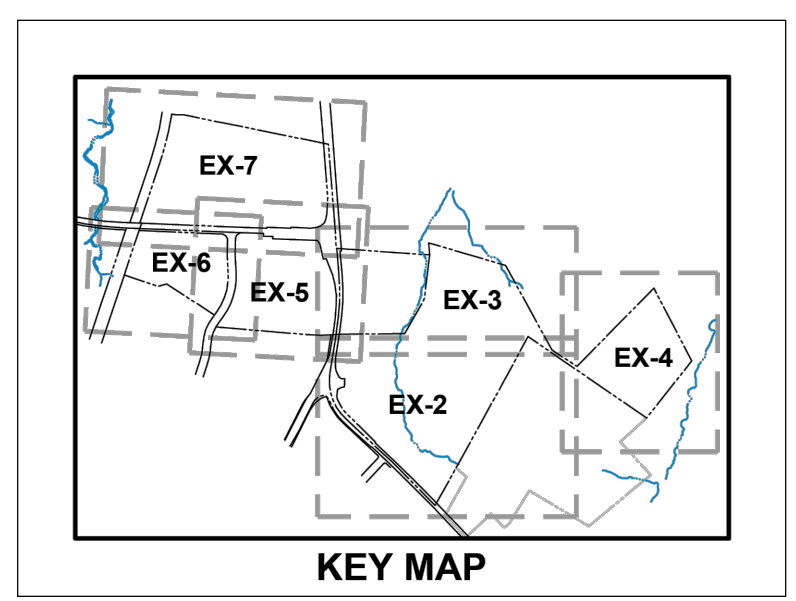
313 W. Liberty St.,  
 Suite 241  
 Lancaster, PA 17603  
 Phone: (717) 283-4538  
**TOWNE SQUARE**  
 ENGINEERING  
**Civil Engineers & Land Planners**  
 info@townsquareengineering.com



Section Number:  
**EX-3**

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Sheet Number: <b>06 of 81</b>											
Project Number: <b>15-100-35</b>											
Date: <b>DECEMBER 17, 2025</b>											
<b>REMAINING ARCONA NEIGHBORHOODS</b>											
Lower Allen Township - Cumberland County, PA											
CHARTER Homes & Neighborhoods											
<b>EXISTING CONDITIONS PLAN - NEIGHBORHOOD 3</b>											
Project Manager: <b>DAVID B. KEGERIZE PE</b>	Drafting: <b>D TURNER</b>										
Project Engineer: <b>G. MITCHELL KING PE, PLS</b>	Checked by: <b>K POSTLETHWAIT</b>										
Project Surveyor: <b>THOMAS K. PHILLIPS PLS</b>	Scale: <b>1"=50'</b>										
Scale: 0 25 50 100 150											
313 W. Liberty St., Suite 241 Lancaster, PA 17603 Phone: (717) 283-4538 info@townsquareengineering.com											
<table border="1"> <tr> <th>DATE</th> <th>REVISIONS</th> </tr> <tr> <td>3/27/26</td> <td>ADDRESS TWP. ENG. LTR. DATED 3/19/26</td> </tr> <tr> <td>2/24/26</td> <td>UPDATE PLAN TO REMOVE NEIGHBORHOOD 7</td> </tr> <tr> <td>2/10/26</td> <td>ADDRESS CDD &amp; TWP. ENG. COMMENTS</td> </tr> <tr> <td>1/19/26</td> <td>REVISED FOR CHN CHANGES</td> </tr> </table>		DATE	REVISIONS	3/27/26	ADDRESS TWP. ENG. LTR. DATED 3/19/26	2/24/26	UPDATE PLAN TO REMOVE NEIGHBORHOOD 7	2/10/26	ADDRESS CDD & TWP. ENG. COMMENTS	1/19/26	REVISED FOR CHN CHANGES
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2/10/26	ADDRESS CDD & TWP. ENG. COMMENTS										
1/19/26	REVISED FOR CHN CHANGES										
Section Number: <b>EX-4</b>											
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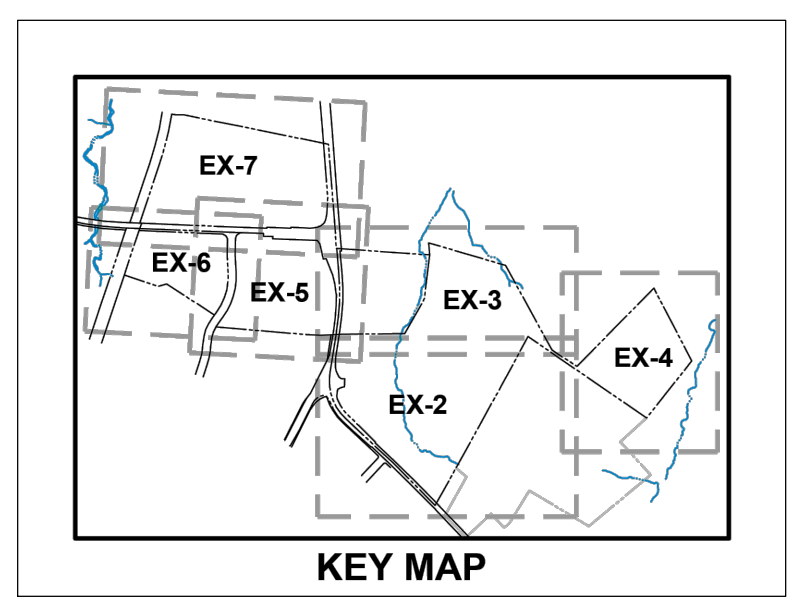
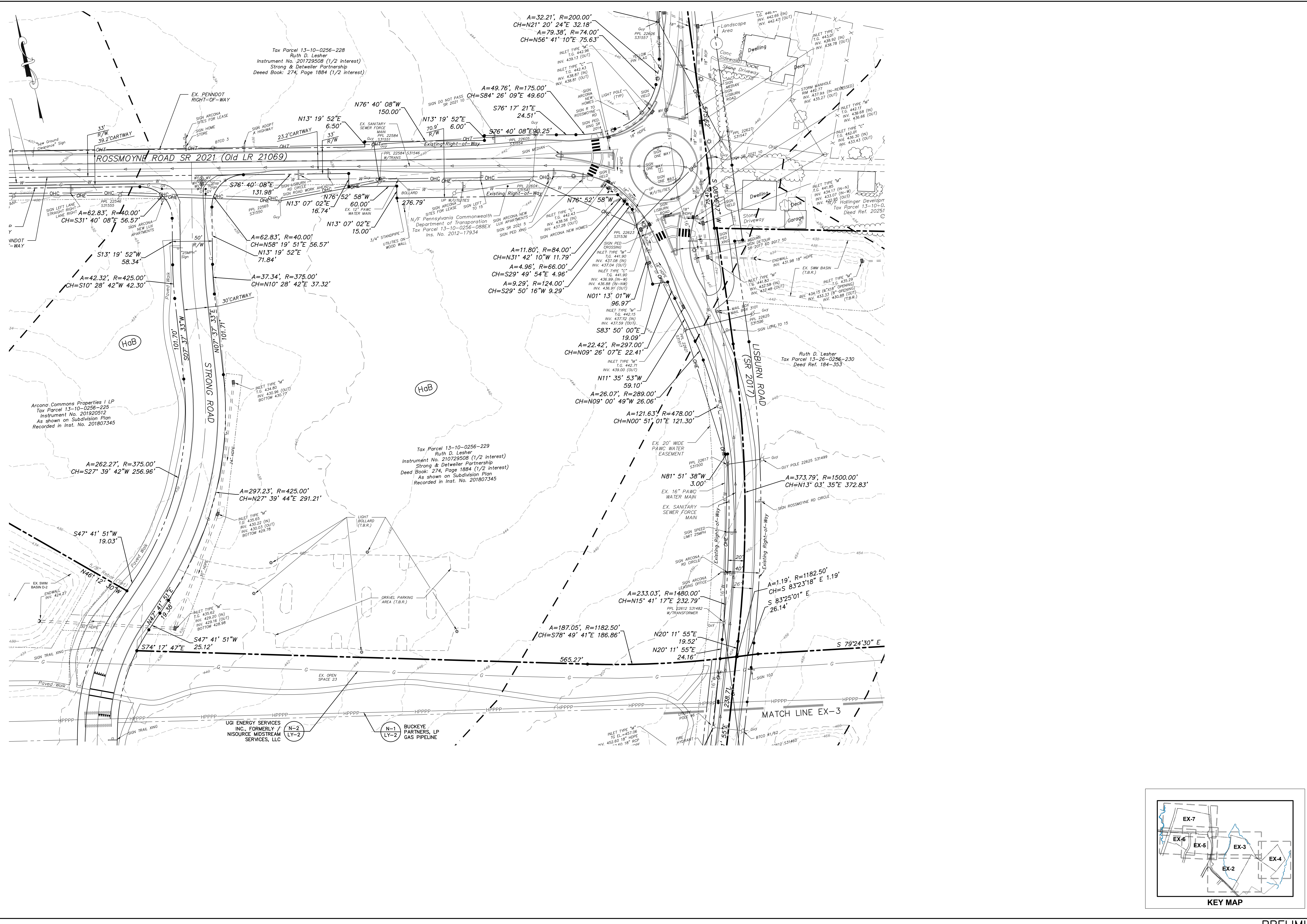
REMAINING ARCONA NEIGHBORHOODS  
Lower Allen Township - Cumberland County, PA  
CHARTER HOMES & NEIGHBORHOODS

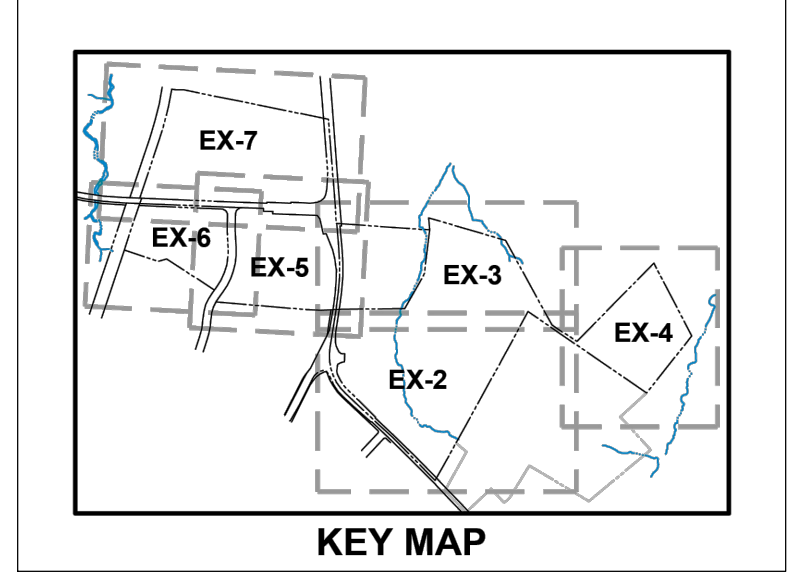
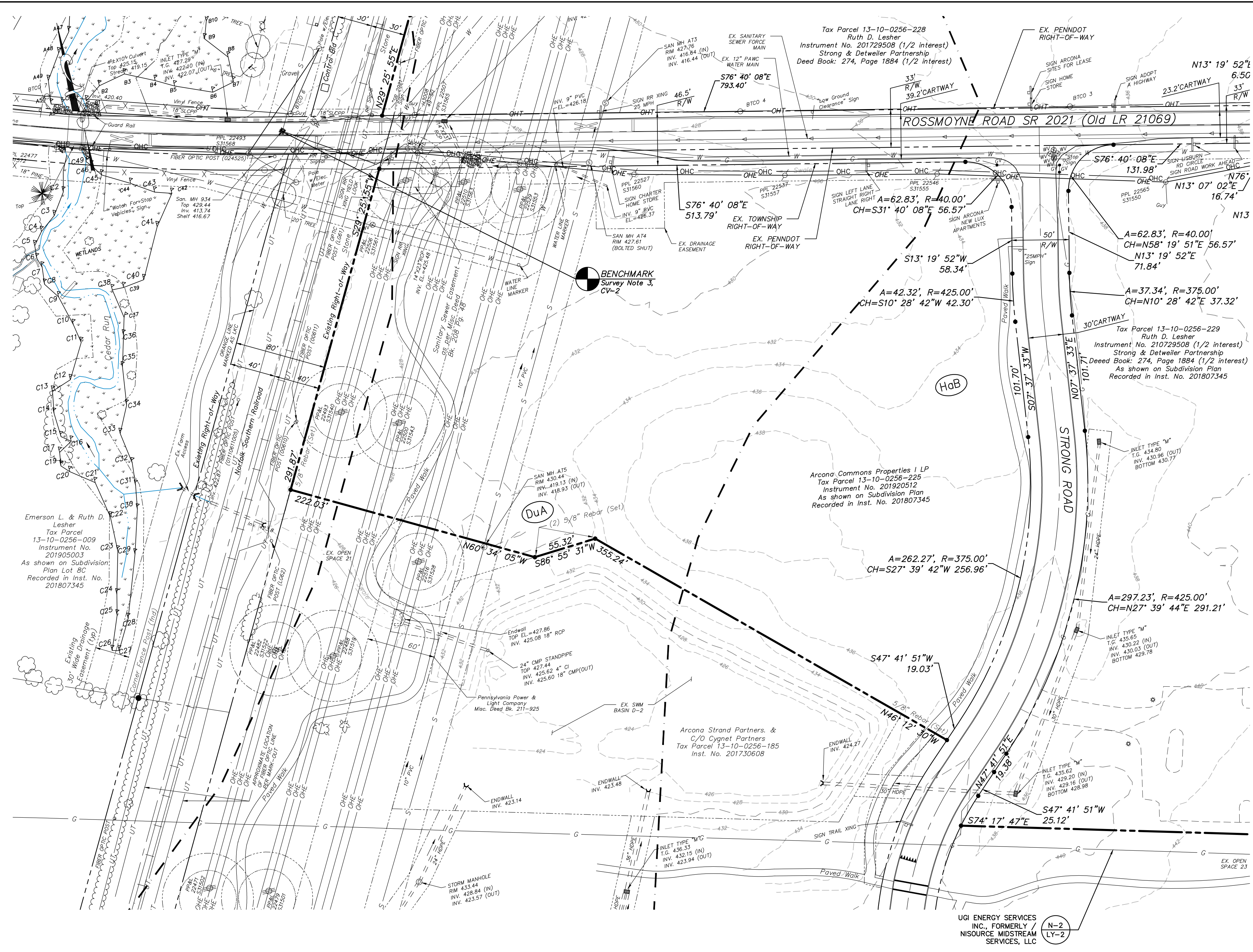
Project Manager: DAVID B. KEGERIZE PE  
Project Engineer: G. MITCHELL KING PE, PLS  
Project Surveyor: THOMAS K. PHILLIPS PLS  
Drafting: D TURNER  
Checked by: K POSTLETHWAIT  
Scale: 1"=50'

Seal:

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info@townesquareengineering.com  
Phone: (717) 283-4538

DATE	REVISIONS
3/27/26	ADDRESS TMP. ENG. LTR. DATED 3/19/26
2/24/26	UPDATE PLAN TO REMOVE NEIGHBORHOOD 7
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1/19/26	REVISED FOR CH&N CHANGES





Sheet Number: 08 of 81  
 Project Number: 15-100-35  
 Date: DECEMBER 17, 2025

**REMAINING ARCONA NEIGHBORHOODS**  
 Lower Allen Township - Cumberland County, PA  
 CHARTER Homes & Neighborhoods

**EXISTING CONDITIONS PLAN - NEIGHBORHOOD 6**

Project Manager: DAVID B. KEGERIZE PE  
 Drafting: D TURNER  
 Project Engineer: G. MITCHELL KING PE, PLS  
 Checked by: K POSTLETHWAIT  
 Project Surveyor: THOMAS K. PHILLIPS PLS  
 Scale: 1"=50'

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DATE	REVISIONS
3/27/26	ADDRESS TMP. ENG. LTR. DATED 3/19/26
2/24/26	UPDATE PLAN TO REMOVE NEIGHBORHOOD 7
2/10/26	ADDRESS CDDP & TMP. ENG. COMMENTS
1/19/26	REVISED FOR CH&N CHANGES

Section Number: EX-6

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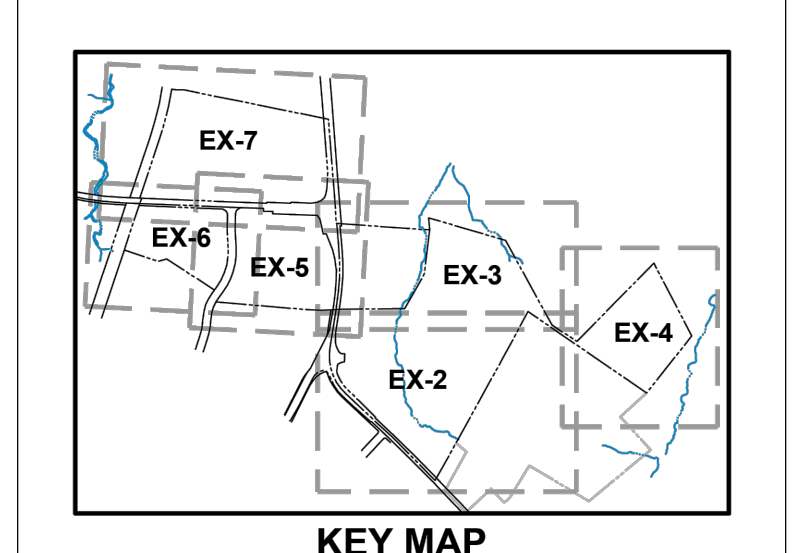
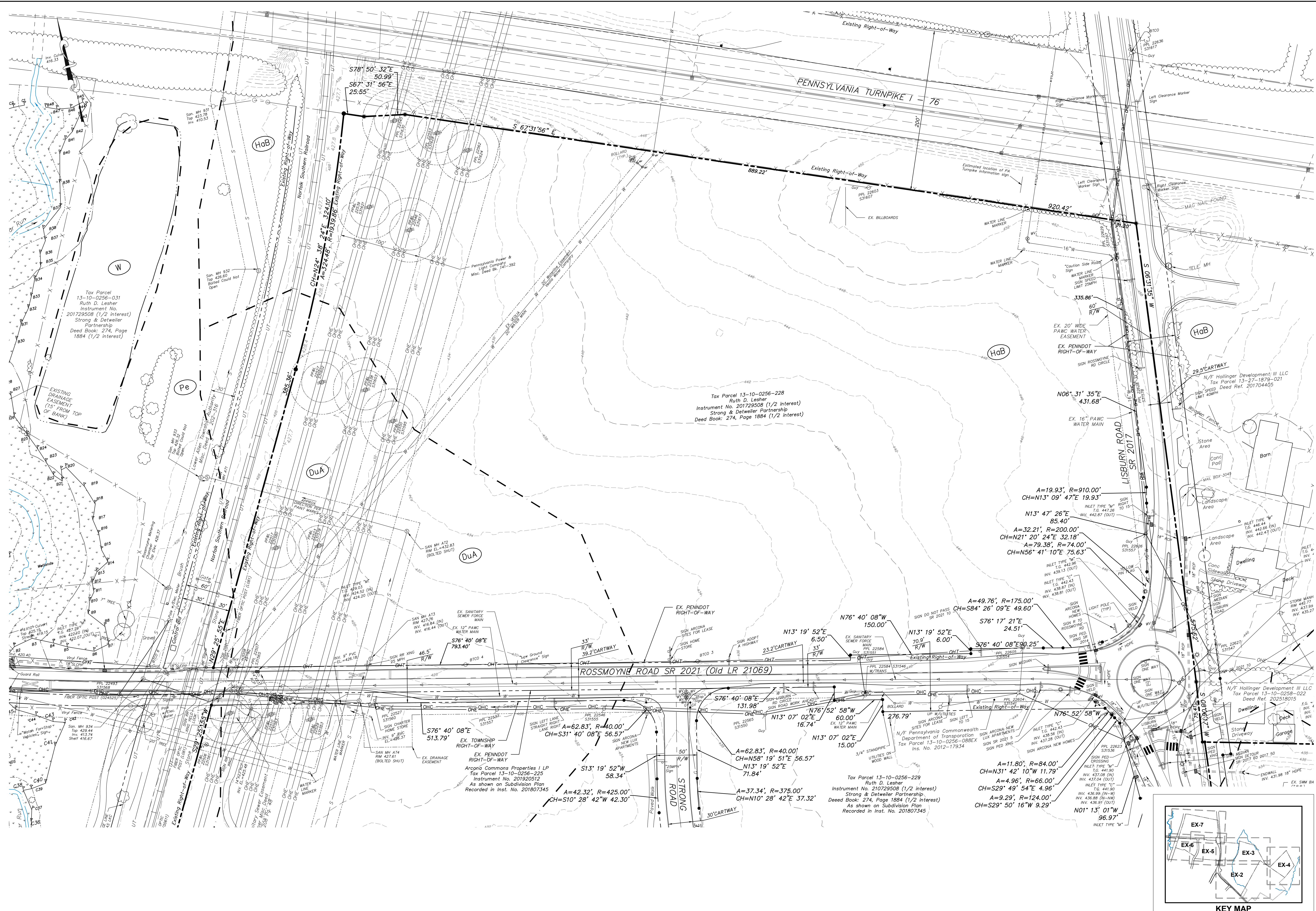
**REMAINING ARCONA NEIGHBORHOODS**  
 Lower Allen Township - Cumberland County, PA  
 CHARTER Homes & Neighborhoods

Drafting: **D TURNER**  
 Checked by:  
 Project Engineer: **G. MITCHELL KING PE, PLS**  
 Project Surveyor: **THOMAS K. PHILLIPS PLS**  
 Scale: **1"=50'**

Project Manager: **DAVID B. KEGERIZE PE**  
 Project Engineer: **G. MITCHELL KING PE, PLS**  
 Project Surveyor: **THOMAS K. PHILLIPS PLS**

Seal:  
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**Civil Engineers & Land Planners**  
 info@townesquareengineering.com

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**REMAINING ARCONA NEIGHBORHOODS**  
Project Number:  
15-100-35  
Date:  
DECEMBER 17, 2025  
Lower Allen Township - Cumberland County, PA  
CHARTER HOMES & NEIGHBORHOODS

Project Manager:  
DAVID B. KEGERIZE PE  
Project Engineer:  
C. MITCHELL KING PE, PLS  
Project Surveyor:  
THOMAS K. PHILLIPS PLS  
Scale:  
1" = 300'  
Drafting:  
D. TURNER  
Checked by:  
K. POSTLETHWAIT  
Scale:  
1" = 300'

Seal:  
Professional Engineer  
C. MITCHELL KING  
No. 25154  
Exp. 12/31/2028  
Professional Surveyor  
THOMAS K. PHILLIPS  
No. 25154  
Exp. 12/31/2028

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info@townesquareengineering.com

PHASE	LOT / UNIT	UNIT TYPE	DESCRIPTION	# UNITS / S.F.	REQUIRED	PROPOSED
3.1	Townhouses - Alley Load	RESIDENTIAL (SINGLE-FAMILY ATTACHED)	2.0 PER UNIT	18 (Dwelling Units)	36	36 (Garages)
3.1	Single Detached - Street Load	RESIDENTIAL (SINGLE-FAMILY DETACHED)	2.0 PER UNIT	3 (Dwelling Units)	6	6 (Garages)
3.1	Single Detached - Alley Load	RESIDENTIAL (SINGLE-FAMILY DETACHED)	2.0 PER UNIT	7 (Dwelling Units)	14	14 (Garages)
3.9.1	Mixed-Use	COMMERCIAL / RETAIL	1 PER 200 S.F.	5,000 S.F.	25	25 (Spaces)
3.9.1	Mixed-Use	RESIDENTIAL (SINGLE-FAMILY ATTACHED)	2.0 PER UNIT	7 (Dwelling Units)	14	4 (Spaces)
3.9.2	Flex	COMMERCIAL / RETAIL	1 PER 200 S.F.	1,225 S.F.	7	7 (Spaces)
3.9.2	Off-Street Parking	N/A	N/A	N/A	N/A	5 (Spaces)
N/A	On-Street Parking	N/A	N/A	N/A	N/A	34 (Spaces)
				<b>Total Parking Spaces</b>	<b>162</b>	<b>131</b>

PHASE	LOT / UNIT	UNIT TYPE	DESCRIPTION	# UNITS	REQUIRED	PROPOSED
4.1	Townhouses - Alley Load	RESIDENTIAL (SINGLE-FAMILY ATTACHED)	2.0 PER UNIT	19 (Dwelling Units)	38	38 (Garages)
4.1	Single Detached - Street Load	RESIDENTIAL (SINGLE-FAMILY DETACHED)	2.0 PER UNIT	15 (Dwelling Units)	30	30 (Garages)
N/A	On-Street Parking	N/A	N/A	N/A	N/A	6 (Spaces)
				<b>Total</b>	<b>34 (Dwelling Units)</b>	<b>68</b>

PHASE	LOT / UNIT	UNIT TYPE	DESCRIPTION	# UNITS / S.F.	REQUIRED	PROPOSED
5.9.1	Commercial / Retail	COMMERCIAL / RETAIL	1 PER 200 S.F.	7,400 S.F.	37	72 (Spaces)
5.1	Townhouses - Alley Load	RESIDENTIAL (SINGLE-FAMILY ATTACHED)	2.0 PER UNIT	51 (Dwelling Units)	102	102 (Garages)
5.1	Single Detached - Street Load	RESIDENTIAL (SINGLE-FAMILY DETACHED)	2.0 PER UNIT	9 (Dwelling Units)	18	18 (Garages)
5.1	Single Detached - Alley Load	RESIDENTIAL (SINGLE-FAMILY DETACHED)	2.0 PER UNIT	10 (Dwelling Units)	20	20 (Garages)
N/A	On-Street Parking	N/A	N/A	N/A	N/A	21 (Spaces)
				<b>Total</b>	<b>70 (Dwelling Units)</b>	<b>177</b>

PHASE	LOT / UNIT	UNIT TYPE	DESCRIPTION	# UNITS / S.F.	REQUIRED	PROPOSED
6.9.1	Office	OFFICE	1 PER 200 S.F.	18,000 S.F.	90	90 (Spaces)
6.9.2	Office	OFFICE	1 PER 200 S.F.	18,000 S.F.	90	90 (Spaces)
	Shared Parking Spaces	-	-	-	0	20 (Spaces)
				<b>Total</b>	<b>180</b>	<b>200</b>

UNIT	BUILDING	UNIT TYPE	DESCRIPTION*	S.F.	REQUIRED**	PROVIDED
Shopping Center (Neighborhood)	Buildings A, B, C, & E	Commercial / Retail	5 PER 1,000 S.F.	55,000 S.F.	274	297
Convenience Store	Building D	Convenience / Food / Fuel	(See Below)	5,000 S.F.	78	86
				<b>Total Parking Spaces Required =</b>	<b>352</b>	<b>383</b>

\*\* 1 Per 250 S.F. for the 1st 1,000 S.F., plus 5 Per 1,000 S.F. for associated uses.

Convenience Store	1 Space per every 150 S.F. of GFA	3,412 S.F.	23
Fast Food Restaurant	1 Space per Every 30 S.F. of GFA	1,588 S.F.	53
Fuel Sales	1 Space per 3 Gasoline Pumps	6 Pumps	2
			<b>Total Parking Spaces Required = 78</b>

Total Units	Live-Work Units	% SF Detached Units
1095	26	2.37%

# of Residential Lots	# Wider than Deep	> 90% Deeper
139	2	1.4%

Description	Highpoint (rev.)	Strong Road	Arcona Ph. 2.1 & 2.2 (Rev.)	Arcona Ph. 2.3 (Rev.)	Arcona Ph. 8.1 (Rev.)	Arcona Ph. 8.2 (Rev.)	Arcona Ph. 8.3	Arcona Ph. 9	Arcona Ph. 3.1	Arcona Ph. 4	Arcona Ph. 5	Arcona Ph. 6	Arcona Ph. 7*	TND Totals to Date	% Open Space of TND
Walking Trails	7,385 L.F. +/-	0 L.F. +/-	2,865 L.F. +/-	2,295 L.F. +/-	1,930 L.F. +/-	1,087 L.F. +/-	1,157 L.F. +/-	0 L.F. +/-	0 L.F. +/-	1,049 L.F. +/-	804 L.F. +/-	0 L.F. +/-	0 L.F. +/-	18,572 L.F. +/-	
Site Areaage	40.1 Ac. +/-	2.6 Ac. +/-	17.0 Ac. +/-	13.3 Ac. +/-	17.4 Ac. +/-	7.4 Ac. +/-	13.6 Ac. +/-	10.6 Ac. +/-	21.9 Ac. +/-	6.1 Ac. +/-	8.4 Ac. +/-	5.3 Ac. +/-	15.0 Ac. +/-	214.6 Ac. +/-	
Common Open Space	11.9 Ac. +/-	0.0 Ac. +/-	3.7 Ac. +/-	1.7 Ac. +/-	7.4 Ac. +/-	2.8 Ac. +/-	2.6 Ac. +/-	1.2 Ac. +/-	16.5 Ac. +/-	1.7 Ac. +/-	1.3 Ac. +/-	1.2 Ac. +/-	2.8 Ac. +/-	54.7 Ac. +/-	25.5%
# Residential Units	183 (171)**	0	282	107	132 (131)**	144	93	15	35	34	70	0	0	1095 (1082)**	
Unit Density	4.27	0.00	16.61	8.03	4.41	4.66	6.82	1.42	1.60	5.6	8.32	0.00	0.00	5.04	
* Length of Street (Sub-Total)	6,823 L.F. +/-	2,158 L.F. +/-	0 L.F. +/-	3,614 L.F. +/-	6,388 L.F. +/-	6,308 L.F. +/-	4,100 L.F. +/-	785 L.F. +/-	1,502 L.F. +/-	1,293 L.F. +/-	2,104 L.F. +/-	0 L.F. +/-	0 L.F. +/-	35,075 L.F. +/-	
Length of Cul-de-sac (Sub-Total)	0 L.F. +/-	0 L.F. +/-	0 L.F. +/-	0 L.F. +/-	0 L.F. +/-	400 L.F. +/-	0 L.F. +/-	785 L.F. +/-	0 L.F. +/-	0 L.F. +/-	0 L.F. +/-	0 L.F. +/-	0 L.F. +/-	1,185 L.F. +/-	
Percentage of Total	0.00%	0.00%	0.00%	0.00%	0.00%	0.00%	0.00%	0.00%	0.00%	0.00%	0.00%	n/a	n/a	3.38%	
Impervious Area	16.10 Ac. +/-	1.68 Ac. +/-	8.85 Ac. +/-	7.84 Ac. +/-	9.94 Ac. +/-	12.78 Ac. +/-	7.07 Ac. +/-	2.98 Ac. +/-	2.96 Ac. +/-	2.59 Ac. +/-	5.17 Ac. +/-	2.49 Ac. +/-	7.32 Ac. +/-	87.8 Ac. +/-	40.9%
Impervious Percentage	40.17%	64.34%	52.12%	58.84%	33.43%	41.33%	51.87%	28.20%	13.52%	42.32%	61.48%	47.10%	48.76%	40.90%	

\* Includes public and private streets & alleys  
\*\* For purposes of calculating residential density, live-work units in a core neighborhood and any other dwelling unit located above a nonresidential use in a core neighborhood shall count as 0.5 dwelling unit. Zoning Sec. 220-126.C

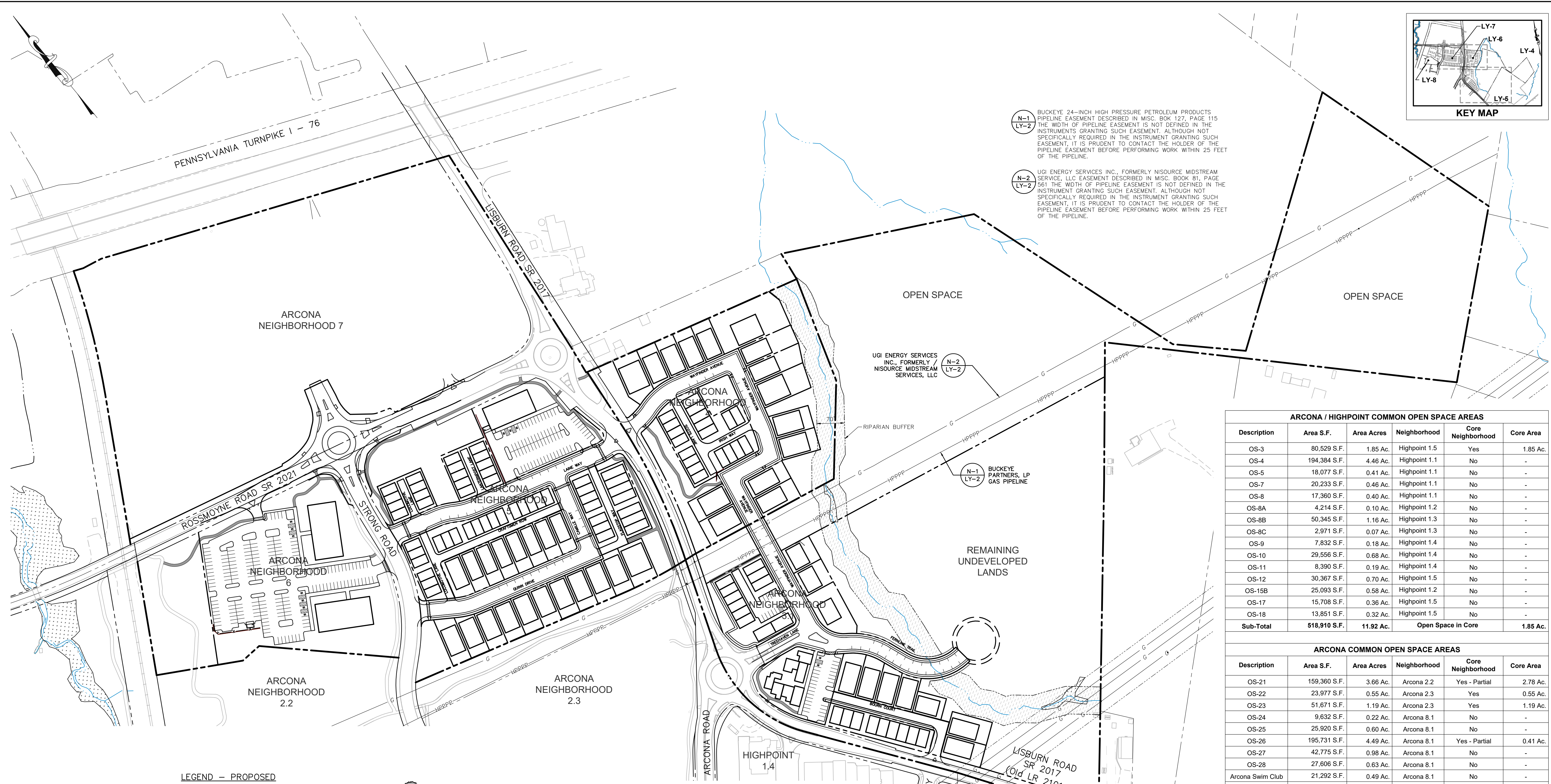
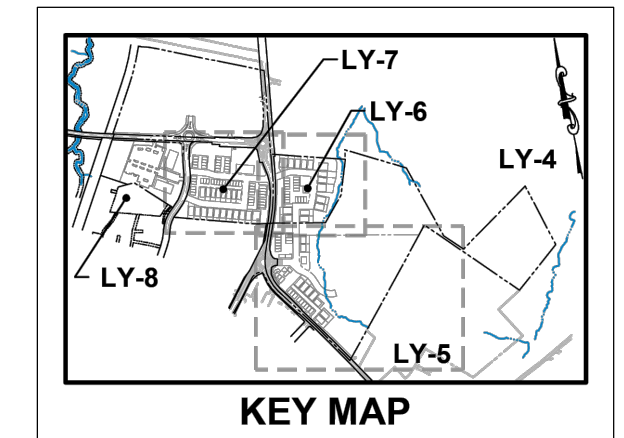
Phase	Description	Area (s.f.)	Area (Acres)	Meets Common Open Space Req's.
3	OS-40	706,188 s.f.	16.21 Ac.	Yes
3	OS-41	11,996 s.f.	0.28 Ac.	Yes
4	OS-42	16,920 s.f.	0.39 Ac.	Yes
4	OS-43	9,885 s.f.	0.23 Ac.	Yes
4	OS-44	40,070 s.f.	0.92 Ac.	Yes
4	OS-45	6,746 s.f.	0.15 Ac.	Yes
5	OS-46	11,548 s.f.	0.27 Ac.	Yes
5	OS-48	8,780 s.f.	0.20 Ac.	Yes
5	OS-49	36,620 s.f.	0.84 Ac.	Yes
5	OS-52	1,124 s.f.	0.03 Ac.	No
6	OS-50	50,818 s.f.	1.17 Ac.	Yes
7*	OS-51	120,620 s.f.	2.77 Ac.	Yes
<b>Total</b>		<b>1,021,314 s.f.</b>	<b>23.46 Ac.</b>	

Neighborhood	Description	Area of Steep Slopes (A)	Area of Woodlands (B)	Area of Overlap (C)	Total (A+B+C)	Area of Regrading	Percentage Regrading
3.1	OS-40	116,883 s.f.	117,545 s.f.	363,172 s.f.	597,600 s.f.	68,875 s.f.	11.5%
4	OS-44	233 s.f.	24,605 s.f.	10,908 s.f.	35,746 s.f.	14,233 s.f.	39.8%
9	OS-36	16,758 s.f.	0 s.f.	0 s.f.	16,758 s.f.	16,758 s.f.	100.0%
9	OS-37	4,175 s.f.	0 s.f.	3,406 s.f.	7,580 s.f.	3,490 s.f.	46.0%
<b>Total</b>		<b>138,049 s.f.</b>	<b>142,150 s.f.</b>	<b>377,486 s.f.</b>	<b>657,684 s.f.</b>	<b>103,355 s.f.</b>	<b>15.7%</b>

Note: All other Common Open Spaces do not have steep slopes or woodlands from pre-development.

Development Site			Open Space							
Highpoint	Development Site	% Total	Rec. Lands	Common OS	Total OS Area	% Total	Village	% Total	Residential	% Total
Highpoint Phase 1.1	17.39 Ac. +/-	40%	0.00 Ac. +/-	5.69 Ac. +/-	5.69 Ac. +/-	13%	0.00 Ac. +/-	0%	11.70 Ac. +/-	27%
Highpoint Phase 1.2	5.94 Ac. +/-	14%	0.00 Ac. +/-	0.71 Ac. +/-	0.71 Ac. +/-	2%	0.00 Ac. +/-	0%	5.23 Ac. +/-	12%
Highpoint Phase 1.3	4.94 Ac. +/-	11%	0.00 Ac. +/-	1.27 Ac. +/-	1.27 Ac. +/-	3%	0.00 Ac. +/-	0%	3.67 Ac. +/-	8%
Highpoint Phase 1.4	7.00 Ac. +/-	16%	0.00 Ac. +/-	1.05 Ac. +/-	1.05 Ac. +/-	2%	5.95 Ac. +/-	14%	0.00 Ac. +/-	0%
Highpoint Phase 1.5	8.06 Ac. +/-	19%	1.85 Ac. +/-	1.35 Ac. +/-	3.20 Ac. +/-	7%	0.00 Ac. +/-	0%	4.86 Ac. +/-	11%
<b>Highpoint (rev.) sub-total =</b>	<b>43.33 Ac. +/-</b>	<b>100%</b>	<b>1.85 Ac. +/-</b>	<b>10.07 Ac. +/-</b>	<b>11.92 Ac. +/-</b>	<b>27.5%</b>	<b>5.95 Ac. +/-</b>	<b>13.7%</b>	<b>25.46 Ac. +/-</b>	<b>58.8%</b>
<b>Arcona Phase 2.1 &amp; 2.2</b>	<b>Development Site</b>	<b>% Total</b>	<b>Rec. Lands</b>	<b>Common OS</b>	<b>Total OS Area</b>	<b>% Total</b>	<b>Village</b>	<b>% Total</b>	<b>Residential</b>	<b>% Total</b>
Arcona Phase 2.1	6.49 Ac. +/-	38%	0.00 Ac. +/-	0.00 Ac. +/-	0.00 Ac. +/-	0%	0.00 Ac. +/-	0%	6.49 Ac. +/-	38%
Arcona Phase 2.2	10.49 Ac. +/-	62%	0.00 Ac. +/-	3.66 Ac. +/-	3.66 Ac. +/-	22%	0.00 Ac. +/-	0%	6.83 Ac. +/-	40%
<b>Arcona Phase 2.1 &amp; 2.2 sub-total =</b>	<b>16.98 Ac. +/-</b>	<b>100%</b>	<b>0.00 Ac. +/-</b>	<b>3.66 Ac. +/-</b>	<b>3.66 Ac. +/-</b>	<b>21.6%</b>	<b>0.00 Ac. +/-</b>	<b>0.0%</b>	<b>13.32 Ac. +/-</b>	<b>78.4%</b>
<b>Arcona Phase 2.3</b>	<b>Development Site</b>	<b>% Total</b>	<b>Rec. Lands</b>	<b>Common OS</b>	<b>Total OS Area</b>	<b>% Total</b>	<b>Village</b>	<b>% Total</b>	<b>Residential</b>	<b>% Total</b>
Arcona Phase 2.3.1	10.49 Ac. +/-	79%	0.00 Ac. +/-	1.74 Ac. +/-	1.74 Ac. +/-	13%	8.75 Ac. +/-	66%	0.00 Ac. +/-	0%
Arcona Phase 2.3.2	2.22 Ac. +/-	17%	0.00 Ac. +/-	0.00 Ac. +/-	0.00 Ac. +/-	0%	2.22 Ac. +/-	17%	0.00 Ac. +/-	0%
Arcona Phase 2.3.3	0.62 Ac. +/-	5%	0.00 Ac. +/-	0.00 Ac. +/-	0.00 Ac. +/-	0%	0.62 Ac. +/-	5%	0.00 Ac. +/-	0%
<b>Arcona Phase 2.3 (Rev.) sub-total =</b>	<b>13.33 Ac. +/-</b>	<b>100%</b>	<b>0.00 Ac. +/-</b>	<b>1.74 Ac. +/-</b>	<b>1.74 Ac. +/-</b>	<b>13.1%</b>	<b>11.59 Ac. +/-</b>	<b>86.9%</b>	<b>0.00 Ac. +/-</b>	<b>0.0%</b>
<b>Arcona Neighborhood 8</b>	<b>Development Site</b>	<b>% Total</b>	<b>Rec. Lands</b>	<b>Common OS</b>	<b>Total OS Area</b>	<b>% Total</b>	<b>Village</b>	<b>% Total</b>	<b>Residential</b>	<b>% Total</b>
Arcona Phase 8.1 (Rev.)	29.54 Ac. +/-	40%	0.00 Ac. +/-	7.41 Ac. +/-	7.41 Ac. +/-	10%	0.00 Ac. +/-	0%	22.13 Ac. +/-	30%
Arcona Phase 8.2 (Rev.)	30.91 Ac. +/-	42%	0.00 Ac. +/-	2.77 Ac. +/-	2.77 Ac. +/-	4%	0.00 Ac. +/-	0%	28.14 Ac. +/-	38%
Arcona Phase 8.3	13.63 Ac. +/-	18%	0.00 Ac. +/-	2.64 Ac. +/-	2.64 Ac. +/-	4%	0.00 Ac. +/-	0%	10.99 Ac. +/-	15%
<b>Arcona Neighborhood 8 sub-total =</b>	<b>74.08 Ac. +/-</b>	<b>100%</b>	<b>0.00 Ac. +/-</b>	<b>12.82 Ac. +/-</b>	<b>12.82 Ac. +/-</b>	<b>17.3%</b>	<b>0.00 Ac. +/-</b>	<b>0.0%</b>	<b>61.26 Ac. +/-</b>	<b>82.7%</b>
<b>Arcona Neighborhood 9</b>	<b>Development Site</b>	<b>% Total</b>	<b>Rec. Lands</b>	<b>Common OS</b>	<b>Total OS Area</b>	<b>% Total</b>	<b>Village</b>	<b>% Total</b>	<b>Residential</b>	<b>% Total</b>
Arcona Neighborhood 9	10.58 Ac. +/-	100%	0.00 Ac. +/-	1.20 Ac. +/-	1.20 Ac. +/-	11%	0.00 Ac. +/-	0%	9.38 Ac. +/-	89%
<b>Remaining Arcona Neighborhoods</b>	<b>Development Site</b>	<b>% Total</b>	<b>Rec. Lands</b>	<b>Common OS</b>	<b>Total OS Area</b>	<b>% Total</b>	<b>Village</b>	<b>% Total</b>	<b>Residential</b>	<b>% Total</b>
Arcona Neighborhood 3.1	21.90 Ac. +/-	100%	0.00 Ac. +/-	16.49 Ac. +/-	16.49 Ac. +/-	75%	0.00 Ac. +/-	0%	5.41 Ac. +/-	25%
Arcona Neighborhood 4	6.12 Ac. +/-	100%	0.00 Ac. +/-	1.69 Ac. +/-	1.69 Ac. +/-	28%	0.00 Ac. +/-	0%	4.43 Ac. +/-	72%
Arcona Neighborhood 5	8.41 Ac. +/-	100%	0.00 Ac. +/-	1.29 Ac. +/-	1.29 Ac. +/-	15%	0.00 Ac. +/-	0%	7.12 Ac. +/-	85%
Arcona Neighborhood 6	5.29 Ac. +/-	100%	0.00 Ac. +/-	1.17 Ac. +/-	1.17 Ac. +/-	22%	0.00 Ac. +/-	0%	0.00 Ac. +/-	0%
Arcona Neighborhood 7*	15.01 Ac. +/-	100%	0.00 Ac. +/-	2.77 Ac. +/-	2.77 Ac. +/-	18%	0.00 Ac. +/-	0%	0.00 Ac. +/-	0%

Unit Type	Phase 3.1	Phase 4	Phase 5	Phase 6	Phase 7*	TOTAL
# of Units						
Single Family Detached	10	15	19	0	0	44
Single Family Attached	18	19	51	0	0	88
Mixed Use Residential	7	0	0	0	0	7
<b>Total Residential Units =</b>	<b>35</b>	<b>34</b>	<b>70</b>	<b>0</b>	<b>0</b>	<b>139</b>
SQ. FT. of Commercial Space						
Commercial / Flex Space	1,225 s.f.	0 s.f.	0 s.f.	0 s.f.	0 s.f.	1,225 s.f.
Commercial / Retail	5,000 s.f.	0 s.f.	7,400 s.f.	0 s.f.	0 s.f.	12,400 s.f.



**N-1 LY-2** BUCKEYE 24-INCH HIGH PRESSURE PETROLEUM PRODUCTS PIPELINE EASEMENT DESCRIBED IN MISC. BOOK 127, PAGE 115 THE WIDTH OF PIPELINE EASEMENT IS NOT DEFINED IN THE INSTRUMENTS GRANTING SUCH EASEMENT, ALTHOUGH NOT SPECIFICALLY REQUIRED IN THE INSTRUMENT GRANTING SUCH EASEMENT, IT IS PRUDENT TO CONTACT THE HOLDER OF THE PIPELINE EASEMENT BEFORE PERFORMING WORK WITHIN 25 FEET OF THE PIPELINE.

**N-2 LY-2** UGI ENERGY SERVICES INC., FORMERLY NISOURCE MIDSTREAM SERVICE, LLC EASEMENT DESCRIBED IN MISC. BOOK 81, PAGE 561 THE WIDTH OF PIPELINE EASEMENT IS NOT DEFINED IN THE INSTRUMENT GRANTING SUCH EASEMENT, ALTHOUGH NOT SPECIFICALLY REQUIRED IN THE INSTRUMENT GRANTING SUCH EASEMENT, IT IS PRUDENT TO CONTACT THE HOLDER OF THE PIPELINE EASEMENT BEFORE PERFORMING WORK WITHIN 25 FEET OF THE PIPELINE.

ARCONA / HIGHPOINT COMMON OPEN SPACE AREAS					
Description	Area S.F.	Area Acres	Neighborhood	Core Neighborhood	Core Area
OS-3	80,529 S.F.	1.85 Ac.	Highpoint 1.5	Yes	1.85 Ac.
OS-4	194,384 S.F.	4.46 Ac.	Highpoint 1.1	No	-
OS-5	18,077 S.F.	0.41 Ac.	Highpoint 1.1	No	-
OS-7	20,233 S.F.	0.46 Ac.	Highpoint 1.1	No	-
OS-8	17,360 S.F.	0.40 Ac.	Highpoint 1.1	No	-
OS-8A	4,214 S.F.	0.10 Ac.	Highpoint 1.2	No	-
OS-8B	50,345 S.F.	1.16 Ac.	Highpoint 1.3	No	-
OS-8C	2,971 S.F.	0.07 Ac.	Highpoint 1.3	No	-
OS-9	7,832 S.F.	0.18 Ac.	Highpoint 1.4	No	-
OS-10	29,556 S.F.	0.68 Ac.	Highpoint 1.4	No	-
OS-11	8,390 S.F.	0.19 Ac.	Highpoint 1.4	No	-
OS-12	30,367 S.F.	0.70 Ac.	Highpoint 1.5	No	-
OS-15B	25,093 S.F.	0.58 Ac.	Highpoint 1.2	No	-
OS-17	15,708 S.F.	0.36 Ac.	Highpoint 1.5	No	-
OS-18	13,851 S.F.	0.32 Ac.	Highpoint 1.5	No	-
<b>Sub-Total</b>	<b>518,910 S.F.</b>	<b>11.92 Ac.</b>	<b>Open Space in Core</b>		<b>1.85 Ac.</b>

ARCONA COMMON OPEN SPACE AREAS					
Description	Area S.F.	Area Acres	Neighborhood	Core Neighborhood	Core Area
OS-21	159,360 S.F.	3.66 Ac.	Arcona 2.2	Yes - Partial	2.78 Ac.
OS-22	23,977 S.F.	0.55 Ac.	Arcona 2.3	Yes	0.55 Ac.
OS-23	51,671 S.F.	1.19 Ac.	Arcona 2.3	Yes	1.19 Ac.
OS-24	9,632 S.F.	0.22 Ac.	Arcona 8.1	No	-
OS-25	25,920 S.F.	0.60 Ac.	Arcona 8.1	No	-
OS-26	195,731 S.F.	4.49 Ac.	Arcona 8.1	Yes - Partial	0.41 Ac.
OS-27	42,775 S.F.	0.98 Ac.	Arcona 8.1	No	-
OS-28	27,606 S.F.	0.63 Ac.	Arcona 8.1	No	-
Arcona Swim Club	21,292 S.F.	0.49 Ac.	Arcona 8.1	No	-
OS-29	10,979 S.F.	0.25 Ac.	Arcona 8.2	No	-
OS-30	7,280 S.F.	0.17 Ac.	Arcona 8.2	No	-
OS-31	19,099 S.F.	0.44 Ac.	Arcona 8.2	No	-
OS-33	83,251 S.F.	1.91 Ac.	Arcona 8.2	No	-
OS-34	28,232 S.F.	0.65 Ac.	Arcona 8.3	No	-
OS-35	86,658 S.F.	1.99 Ac.	Arcona 8.3	No	-
OS-36	37,478 S.F.	0.86 Ac.	Arcona 9	Yes	0.86 Ac.
OS-37	14,612 S.F.	0.34 Ac.	Arcona 9	Yes	0.34 Ac.
OS-40	706,188 S.F.	16.21 Ac.	Arcona 3	Yes - Partial	0.45 Ac.
OS-41	11,996 S.F.	0.28 Ac.	Arcona 3	Yes	0.28 Ac.
OS-42	16,920 S.F.	0.39 Ac.	Arcona 4	Yes	0.39 Ac.
OS-43	9,885 S.F.	0.23 Ac.	Arcona 4	Yes	0.23 Ac.
OS-44	40,070 S.F.	0.92 Ac.	Arcona 4	Yes	0.92 Ac.
OS-45	6,746 S.F.	0.15 Ac.	Arcona 4	Yes	0.15 Ac.
OS-46	11,548 S.F.	0.27 Ac.	Arcona 5	Yes	0.27 Ac.
OS-48	7,931 S.F.	0.18 Ac.	Arcona 5	Yes	0.18 Ac.
OS-49	36,620 S.F.	0.84 Ac.	Arcona 5	Yes	0.84 Ac.
OS-50	50,818 S.F.	1.17 Ac.	Arcona 6	Yes	1.17 Ac.
OS-51	120,620 S.F.	2.77 Ac.	Arcona 7	Yes	2.77 Ac.
OS-52	1,124 S.F.	0.03 Ac.	Arcona 5	Yes	0.03 Ac.
<b>Sub-Total</b>	<b>1,866,018 S.F.</b>	<b>42.86 Ac.</b>	<b>Open Space in Core</b>		<b>13.81 Ac.</b>

PERCENTAGE OF OPEN SPACE AREAS IN CORE NEIGHBORHOOD				
Description	Area S.F.	Area Acres	% In Core	Core Area
<b>Total</b>	<b>2,384,928 S.F.</b>	<b>54.78 Ac.</b>	<b>28.6%</b>	<b>15.66 Ac.</b>

**SIGHT DISTANCE ANALYSIS**

NOTE: THIS INFORMATION TAKE FROM A REPORT TITLED "CHARTER ARCONA - REMAINING BUILD-OUT TRANSPORTATION IMPACT STUDY" DATED 12/22/25, PREPARED BY TPD INC.

Lisburn Road (SR 2017) & Rock Way/Proposed (Phase 3.1) Driveway					
Exiting Movement	To the left	40 mph	-4	538	338 600+ <sup>2</sup>
Lisburn Road (SR 2017) & Arcona Road (SR 2015)/Proposed (Phase 3.1) Driveway					
Exiting Movement	To the left	25 mph	-1	250	151 250 <sup>1</sup>
Lisburn Road (SR 2017) & Proposed (Phase 4) Right-In Right-Out Driveway (Opposite Phase 5)					
Exiting Movement	To the left	25 mph	-3	250	151 300+
Lisburn Road (SR 2017) & Proposed (Phase 5) Right-In Right-Out Driveway (Opposite Phase 4)					
Exiting Movement	To the left	25 mph	+1	250	145 300+
Lisburn Road (SR 2017) & Proposed (Phase 7) Right-In Right-Out Driveway					
Exiting Movement	To the left	25 mph	-3	250	151 300+
Rossmoyne Road (SR 2021) & Proposed (Phase 7) Right-In Right-Out Driveway					
Exiting Movement	To the left	25 mph	-2	250	150 300+
Rossmoyne Road (SR 2021) & Strong Road/Proposed (Phase 7) Full Movement Driveway					
Exiting Movements	To the left	25 mph	-2	250	150 300+
	To the right	40 mph	+2	460	304 500+
	Approaching same direction	40 mph	+2	--	304 500+
Entering Movements	Approaching opposite direction	25 mph	-2	190	150 300+
Rossmoyne Road (SR 2021) & Proposed (Phase 6) Right-In Right-Out Driveway					
Exiting Movement	To the left	40 mph	-1	538	314 490

PHASING SCHEDULE	
NEIGHBORHOOD	ANTICIPATED CONSTRUCTION START DATE
3.1	2026
4	2027
5	2028
6	2029
7	2030

VARIOUS TABLES THAT SHOW DATA FOR NEIGHBORHOOD 7 ARE INCLUDED ON THIS SHEET. PLEASE REFER TO "PRELIMINARY SUBDIVISION & LAND DEVELOPMENT PLAN, ARCONA NEIGHBORHOOD 7" FOR ALL SPECIFICS ON ARCONA NEIGHBORHOOD 7.

**LEGEND - PROPOSED**

PROPERTY LINE	---	DECIDUOUS TREE	●
RIGHT-OF-WAY LINE	====	CONIFEROUS TREE	●
EASEMENT LINE	----	CONC. MONUMENT SET	⊙
ROADWAY CENTERLINE	====	PIN	○
CURB LINE	====	ANGLE BREAK, PC/PT	○
EDGE OF PAVEMENT	====	EASEMENT CORNER	○
EDGE OF STONE	====	UTILITY POLE	●
MIN. BLDG SETBACK LINE	====	LIGHT POLE	●
SANITARY SEWER LINE	S	WELL	●
SANITARY FORCE MAIN	▶	WELL	●
WATER LINE	W	WATER SHUT-OFF VALVE (SERVICE)	●
GAS LINE	G	WATER VALVE (MAIN)	●
OVERHEAD UTILITIES	OH	FIRE HYDRANT	●
OVERHEAD ELECTRIC	OHE	GAS SHUT-OFF VALVE (SERVICE)	●
UNDERGROUND ELECTRIC	UE	GAS VALVE (MAIN)	●
OVERHEAD TELEPHONE	OHT	SEWER VENT	●
UNDERGROUND TELEPHONE	UT	SEWER CLEAN OUT	●
FENCE	X X X X	ELECTRIC MANHOLE	●
INDEX CONTOUR	550	STORM MANHOLE	●
INTERMEDIATE CONTOUR	555	SANITARY MANHOLE	●
SPOT ELEVATION	x 392.15	TELEPHONE MANHOLE	●
STORM INLET & PIPING	—	SIGN	●
GUIDE RAIL	—	RIPARIAN EASEMENT	—
PROPOSED PATH	—		
TREELINE	—		

DES = PennDOT Desirable Sight Distance  
SSSD = PennDOT Safe Stopping Sight Distance  
EXIST = Existing (measured) Sight Distance

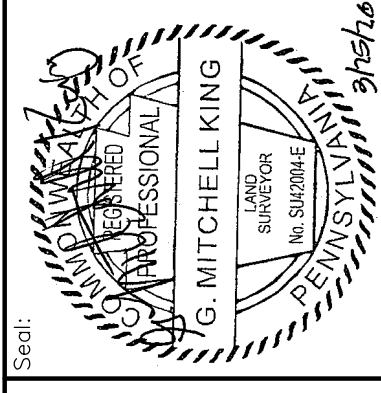
1 = Roadway Grade Approaching Driveway  
2 = With The Removal Of Foliage  
3 = Following Road Path Around Roundabout

**REMAINING ARCONA NEIGHBORHOODS**

Project Manager: DAVID B. KEGERIZE PE  
Project Engineer: G. MITCHELL KING PE, PLS  
Project Surveyor: THOMAS K. PHILLIPS PLS

Checked by: K POSTLETHWAIT  
Scale: 1"=120'

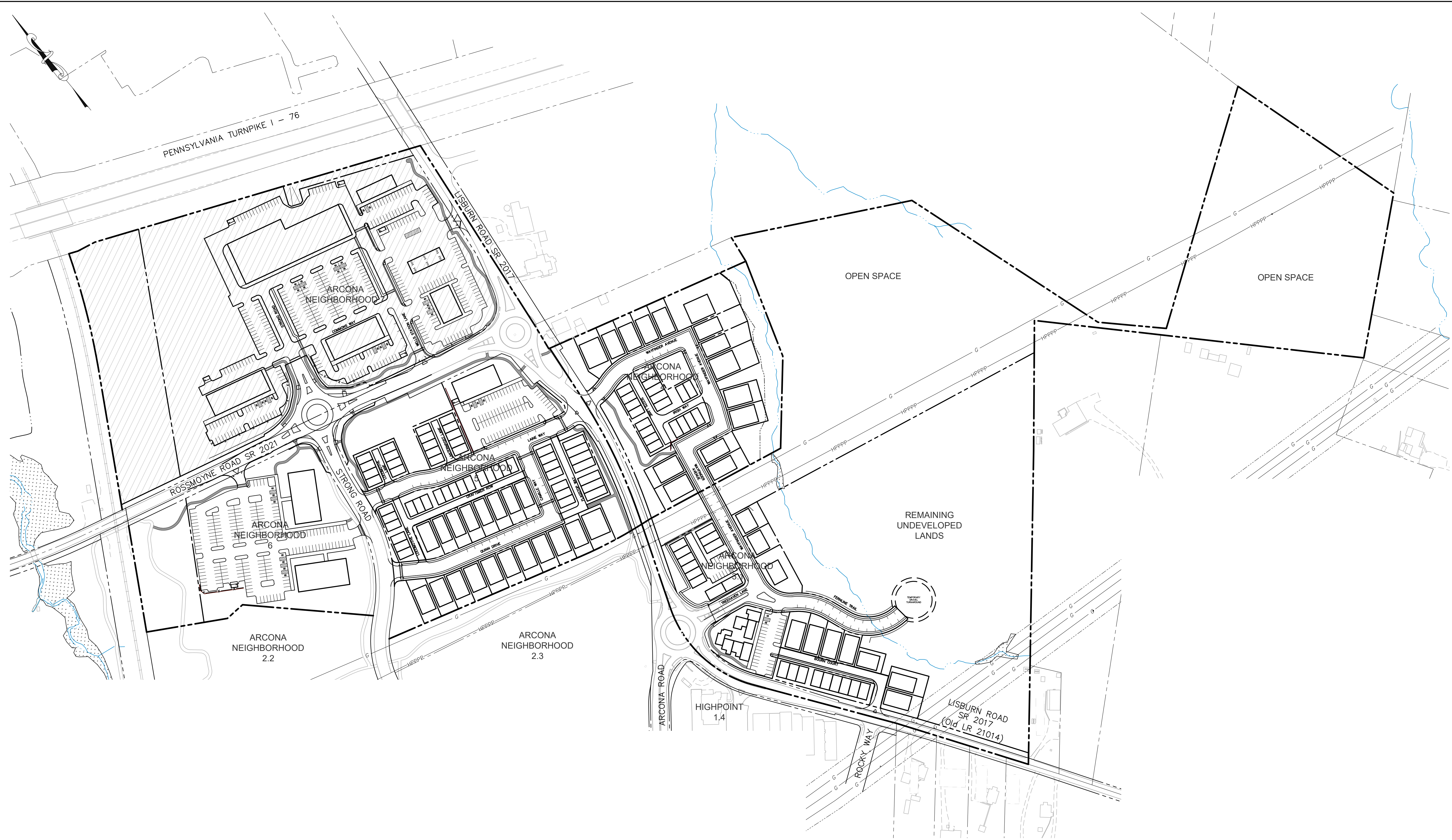
Drafting: D TURNER  
Project Number: 15-100-35



313 W. Liberty St., Suite 241  
Lancaster, PA 17603  
Phone: (717) 283-4538

**TOWNE SQUARE ENGINEERING**  
Civil Engineers & Land Planners  
info@townesquareengineering.com

DATE	REVISIONS
3/27/26	ADDRESS TMP. ENG. LTR. DATED 3/19/26
2/24/26	UPDATE PLAN TO REMOVE NEIGHBORHOOD 7
2/10/26	ADDRESS CDD & TMP. ENG. COMMENTS
1/19/26	REVISED FOR CHN CHANGES

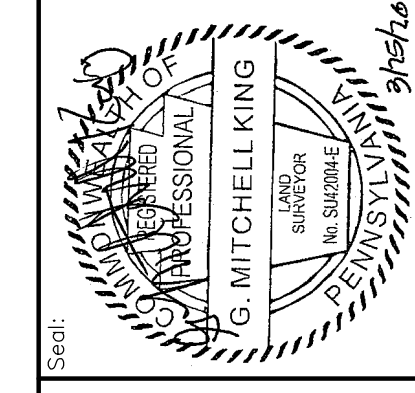


**LEGEND**  
 HATCHED AREA IS ARCONA NEIGHBORHOOD 7. SEE "PRELIMINARY SUBDIVISION & LAND DEVELOPMENT PLAN, ARCONA NEIGHBORHOOD 7".

Sheet Number:  
 12 of 81  
 Project Number:  
 15-100-35  
 Date:  
 DECEMBER 17, 2025

**REMAINING ARCONA NEIGHBORHOODS**  
 Lower Allen Township - Cumberland County, PA  
 CHARTER Homes & Neighborhoods  
**NEIGHBORHOOD 7 REFERENCE**

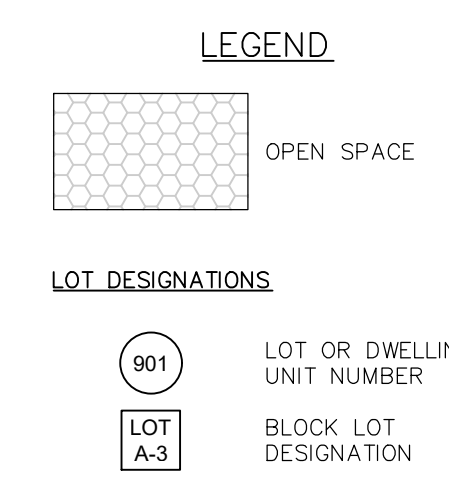
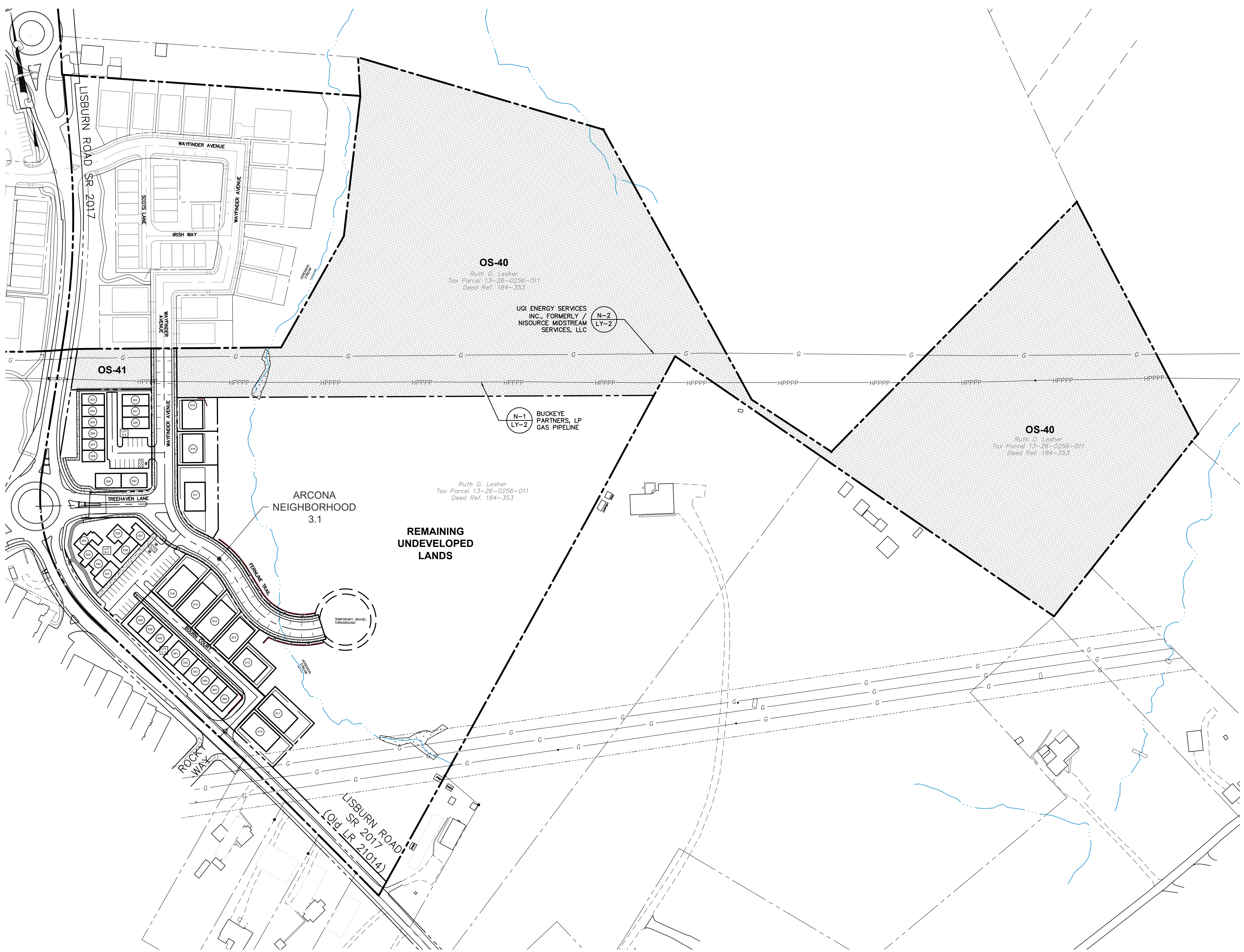
Project Manager: DAVID B. KEGERIZE PE  
 Project Engineer: G. MITCHELL KING PE, PLS  
 Project Surveyor: THOMAS K. PHILLIPS PLS  
 Drafting: D TURNER  
 Checked by: K POSTLETHWAIT  
 Scale: 1"=120'



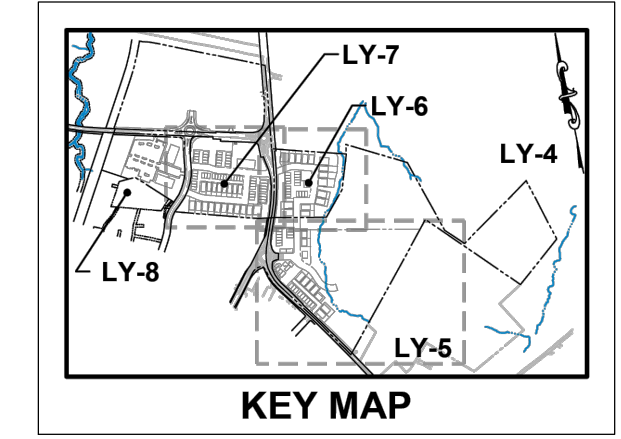
**TOWNE SQUARE ENGINEERING**  
 Civil Engineers & Land Planners  
 info@townesquareengineering.com  
 313 W. Liberty St., Suite 241  
 Lancaster, PA 17603  
 Phone: (717) 283-4538

DATE	REVISIONS
3/27/26	ADDRESS TWP. ENG. LTR. DATED 3/19/26
2/24/26	UPDATE PLAN TO REMOVE NEIGHBORHOOD 7
2/10/26	ADDRESS CDDP & TWP. ENG. COMMENTS
1/19/26	REVISED FOR CH&N CHANGES

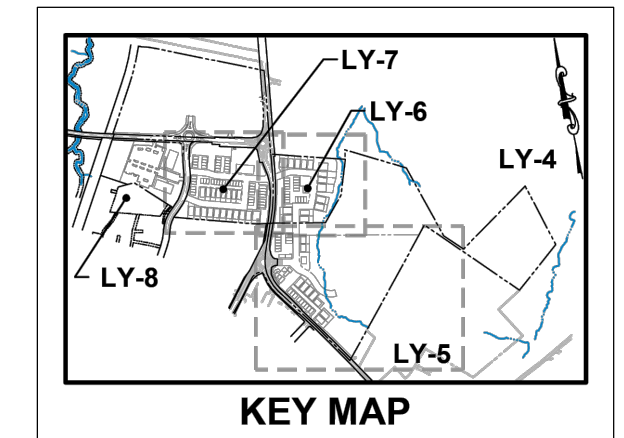
Section Number:  
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- NOTES:**
- SEE EA-1 FOR ALL PROPOSED EASEMENTS AND EXISTING EASEMENTS TO BE EXTINGUISHED.
  - PROPOSED CURB SHOWN ON THIS PLAN IS TO BE BELGIAN BLOCK.
  - STREET ADDRESSES WILL BE POSTED ALONG PRIVATE DRIVES FOR UNITS WITH ONLY PRIVATE DRIVE ACCESS.
  - ALL PRIVATE DRIVES ARE TO BE CONSIDERED PUBLIC EASEMENTS FOR PUBLIC ACCESS AND ALL UTILITIES.
  - PRIVATE STREETS TO BE OWNED AND MAINTAINED BY THE NEIGHBORHOOD ASSOCIATION (NA).
  - EACH DWELLING UNIT WILL HAVE INDIVIDUAL REFUSE PICKUP. ALL RESIDENTIAL UNIT OWNERS ARE REQUIRED TO PLACE REFUSE AT A COLLECTION POINT ACCESSIBLE FOR TRUCK PICKUP. AS DIRECTED BY THE NEIGHBORHOOD ASSOCIATION DOCUMENTS. HOMEOWNERS WILL BE REQUIRED TO BRING REFUSE TO END OF DRIVES.
  - SEE TABLE ON SHEET LY-4 THROUGH LY-8 FOR APPROVED STREET ADDRESSES.
  - SEE SHEET PL-1 THRU PL-6 FOR LOT AREAS, BEARINGS AND DISTANCES.
  - THE SPEED LIMIT FOR STREETS IN NEIGHBORHOODS 3, 4, & 5 SHALL BE POSTED AT 15 MPH.
  - SINGLE-FAMILY FRONT LOAD DRIVEWAYS MUST BE 18' (MIN.) DEEP MEASURED FROM STREET RIGHT-OF-WAY.
  - THE FIRST 20' OF ANY DRIVEWAY THAT ENTERS ONTO A STREET SHALL HAVE A MAXIMUM SLOPE OF 7% (SECTION 192-57.B.3.c(2)).
  - DRIVEWAY SLOPES WILL BE DETERMINED AND PROVIDED TO THE TOWNSHIP AT THE TIME OF BUILDING PERMIT APPLICATION FOR EACH DWELLING UNIT.



Sheet Number: <b>13 of 81</b>	
Project Number: <b>15-100-35</b>	
Date: <b>DECEMBER 17, 2025</b>	
<b>REMAINING ARCONA NEIGHBORHOODS</b>	
Lower Allen Township - Cumberland County, PA CHARTER Homes & Neighborhoods	
<b>LAYOUT PLAN - NEIGHBORHOOD 3 OVERALL</b>	
Drafting: <b>D TURNER</b>	Checked by: <b>K POSTLETHWAIT</b>
Project Manager: <b>DAVID B. KEGERIZE PE</b>	Project Engineer: <b>G. MITCHELL KING PE, PLS</b>
Project Surveyor: <b>THOMAS K. PHILLIPS PLS</b>	Scale: <b>1"=100'</b>
<b>TOWNE SQUARE ENGINEERING</b> 313 W. Liberty St., Suite 241 Lancaster, PA 17603 Phone: (717) 283-4538 info@townesquareengineering.com <b>Civil Engineers &amp; Land Planners</b>	
Section Number: <b>LY-4</b>	3/27/26 ADDRESS TMP. ENG. LTR. DATED 3/19/26 2/24/26 UPDATE PLAN TO REMOVE NEIGHBORHOOD 7 2/10/26 ADDRESS CDD & TMP. ENG. COMMENTS 1/19/26 REVISED FOR CHN CHANGES DATE REVISIONS
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LOT # / BLDG. #	Approved Address	Phase No.
910	???? Bourn Court Mechanicsburg PA 17055	3
911	???? Bourn Court Mechanicsburg PA 17055	3
912	???? Bourn Court Mechanicsburg PA 17055	3
913	???? Fernline Trail Mechanicsburg PA 17055	3
914	???? Fernline Trail Mechanicsburg PA 17055	3
915	???? Fernline Trail Mechanicsburg PA 17055	3
916	???? Fernline Trail Mechanicsburg PA 17055	3
917	???? Wayfinder Avenue Mechanicsburg PA 17055	3
918	???? Wayfinder Avenue Mechanicsburg PA 17055	3
919	???? Wayfinder Avenue Mechanicsburg PA 17055	3
920	???? Wayfinder Avenue Mechanicsburg PA 17055	3
921	???? Wayfinder Avenue Mechanicsburg PA 17055	3
922	???? Wayfinder Avenue Mechanicsburg PA 17055	3
923	???? Lisburn Road Mechanicsburg PA 17055	3
924	???? Lisburn Road Mechanicsburg PA 17055	3
925	???? Lisburn Road Mechanicsburg PA 17055	3
926	???? Lisburn Road Mechanicsburg PA 17055	3
927	???? Lisburn Road Mechanicsburg PA 17055	3
928	???? Lisburn Road Mechanicsburg PA 17055	3
929	???? Treehaven Lane Mechanicsburg PA 17055	3
930	???? Treehaven Lane Mechanicsburg PA 17055	3
931	???? Treehaven Lane Mechanicsburg PA 17055	3
932	???? Treehaven Lane Mechanicsburg PA 17055	3
933	???? Treehaven Lane Mechanicsburg PA 17055	3
934	???? Treehaven Lane Mechanicsburg PA 17055	3
935	???? Treehaven Lane Mechanicsburg PA 17055	3
936	???? Treehaven Lane Mechanicsburg PA 17055	3
937	???? Treehaven Lane Mechanicsburg PA 17055	3
938	???? Lisburn Road Mechanicsburg PA 17055	3
939	???? Lisburn Road Mechanicsburg PA 17055	3
940	???? Lisburn Road Mechanicsburg PA 17055	3
941	???? Lisburn Road Mechanicsburg PA 17055	3
942	???? Lisburn Road Mechanicsburg PA 17055	3
943	???? Lisburn Road Mechanicsburg PA 17055	3
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945	???? Lisburn Road Mechanicsburg PA 17055	3
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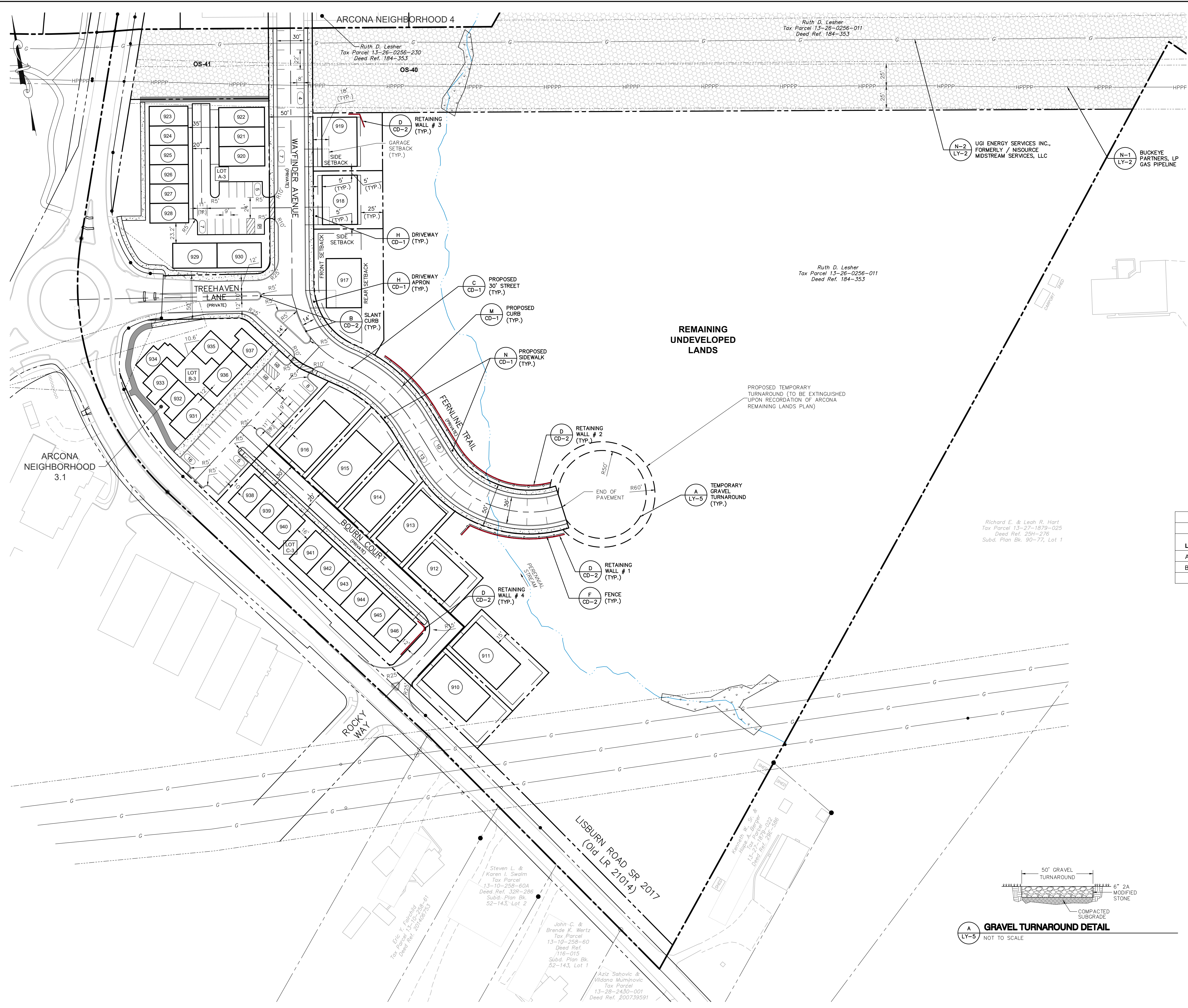
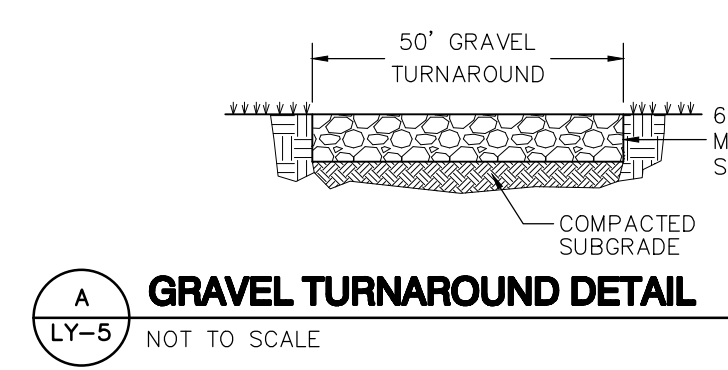
ARCONA NEIGHBORHOOD 3.1 - Accessible Space Parking Summary				
Lot	DESCRIPTION	TOTAL # SPACES	ADA ACCESSIBLE SPACES	
			REQUIRED	PROPOSED
A-3	Parking Lot - Mixed Use	12 (Spaces)	1	1
B-3	Parking Lot - Mixed Use	29 (Spaces)	2	2
<b>Total Parking Spaces</b>		<b>41</b>	<b>3</b>	<b>3</b>

**LEGEND**

- OPEN SPACE
- LOT DESIGNATIONS
- LOT OR DWELLING UNIT NUMBER
- BLOCK LOT DESIGNATION

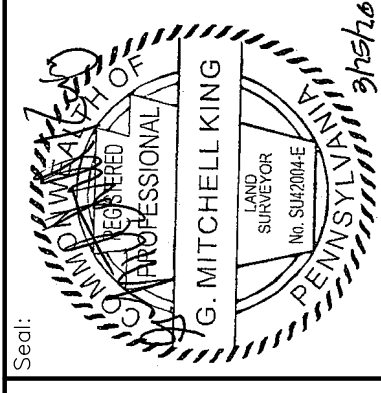
**NOTES:**

1. SEE EA-1 FOR ALL PROPOSED EASEMENTS AND EXISTING EASEMENTS TO BE EXTINGUISHED.
2. PROPOSED CURB SHOWN ON THIS PLAN IS TO BE BELGIAN BLOCK.
3. STREET ADDRESSES WILL BE POSTED ALONG PRIVATE DRIVES FOR UNITS WITH ONLY PRIVATE DRIVE ACCESS.
4. ALL PRIVATE DRIVES ARE TO BE CONSIDERED PUBLIC EASEMENTS FOR PUBLIC ACCESS AND ALL UTILITIES.
5. PRIVATE STREETS TO BE OWNED AND MAINTAINED BY THE NEIGHBORHOOD ASSOCIATION (NA).
6. EACH DWELLING UNIT WILL HAVE INDIVIDUAL REFUSE PICKUP. ALL RESIDENTIAL UNIT OWNERS ARE REQUIRED TO PLACE REFUSE AT A COLLECTION POINT ACCESSIBLE FOR TRUCK PICKUP, AS DIRECTED BY THE NEIGHBORHOOD ASSOCIATION DOCUMENTS. HOMEOWNERS WILL BE REQUIRED TO BRING REFUSE TO END OF DRIVES.
7. SEE TABLE ABOVE FOR APPROVED STREET ADDRESSES.
8. SEE SHEET PL-1 THRU PL-6 FOR LOT AREAS, BEARINGS AND DISTANCES.
9. THE SPEED LIMIT FOR STREETS IN NEIGHBORHOOD 3, 4, & 5 SHALL BE POSTED AT 15 MPH.
10. SINGLE-FAMILY FRONT LOAD DRIVEWAYS MUST BE 18" (MIN.) DEEP MEASURED FROM STREET RIGHT-OF-WAY.
11. THE FIRST 20' OF ANY DRIVEWAY THAT ENTERS ONTO A STREET SHALL HAVE A MAXIMUM SLOPE OF 7% (SECTION 192-57.B.3.c[2]).
12. DRIVEWAY SLOPES WILL BE DETERMINED AND PROVIDED TO THE TOWNSHIP AT THE TIME OF BUILDING PERMIT APPLICATION FOR EACH DWELLING UNIT.
13. EACH PARKING SPACE ADJACENT TO A LANDSCAPE ISLAND AT THE END OF A PARKING ROW MUST INCLUDE AN ADDITIONAL TWO FEET TO ALLOW ACCESS TO THE VEHICLE.



**REMAINING ARCONA NEIGHBORHOODS**  
Lower Allen Township - Cumberland County, PA  
**LAYOUT PLAN - NEIGHBORHOOD 3.1**

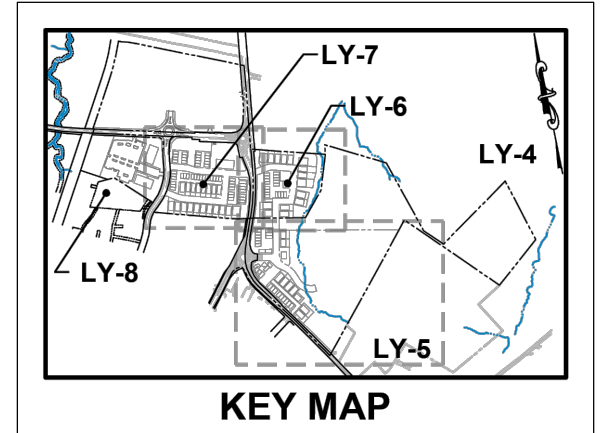
Drafting: **D TURNER**  
Checked by: **K POSTLETHWAIT**  
Project Engineer: **G. MITCHELL KING PE, PLS**  
Project Surveyor: **THOMAS K. PHILLIPS PLS**  
Scale: **1" = 50'**



313 W. Liberty St., Suite 241 Lancaster, PA 17603 Phone: (717) 283-4538  
**TOWNE SQUARE ENGINEERING**  
**Civil Engineers & Land Planners**  
info@townesquareengineering.com

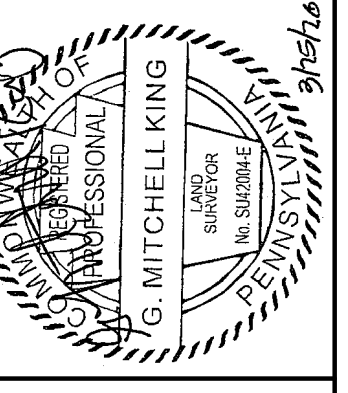
DATE	REVISIONS
3/27/26	ADDRESS TMP. ENG. LTR. DATED 3/19/26
2/24/26	UPDATE PLAN TO REMOVE NEIGHBORHOOD 7
2/10/26	ADDRESS CDDP & TMP. ENG. COMMENTS
1/19/26	REVISED FOR CHN CHANGES

Section Number:  
**LY-5**



**REMAINING ARCONA NEIGHBORHOODS**  
Lower Allen Township - Cumberland County, PA  
**LAYOUT PLAN - NEIGHBORHOOD 4**

Project Manager: DAVID B. KEGERIZE PE  
Project Engineer: G. MITCHELL KING PE, PLS  
Project Surveyor: THOMAS K. PHILLIPS PLS  
Drafting: D TURNER  
Checked by: K POSTLETHWAIT  
Scale: 1"=50'



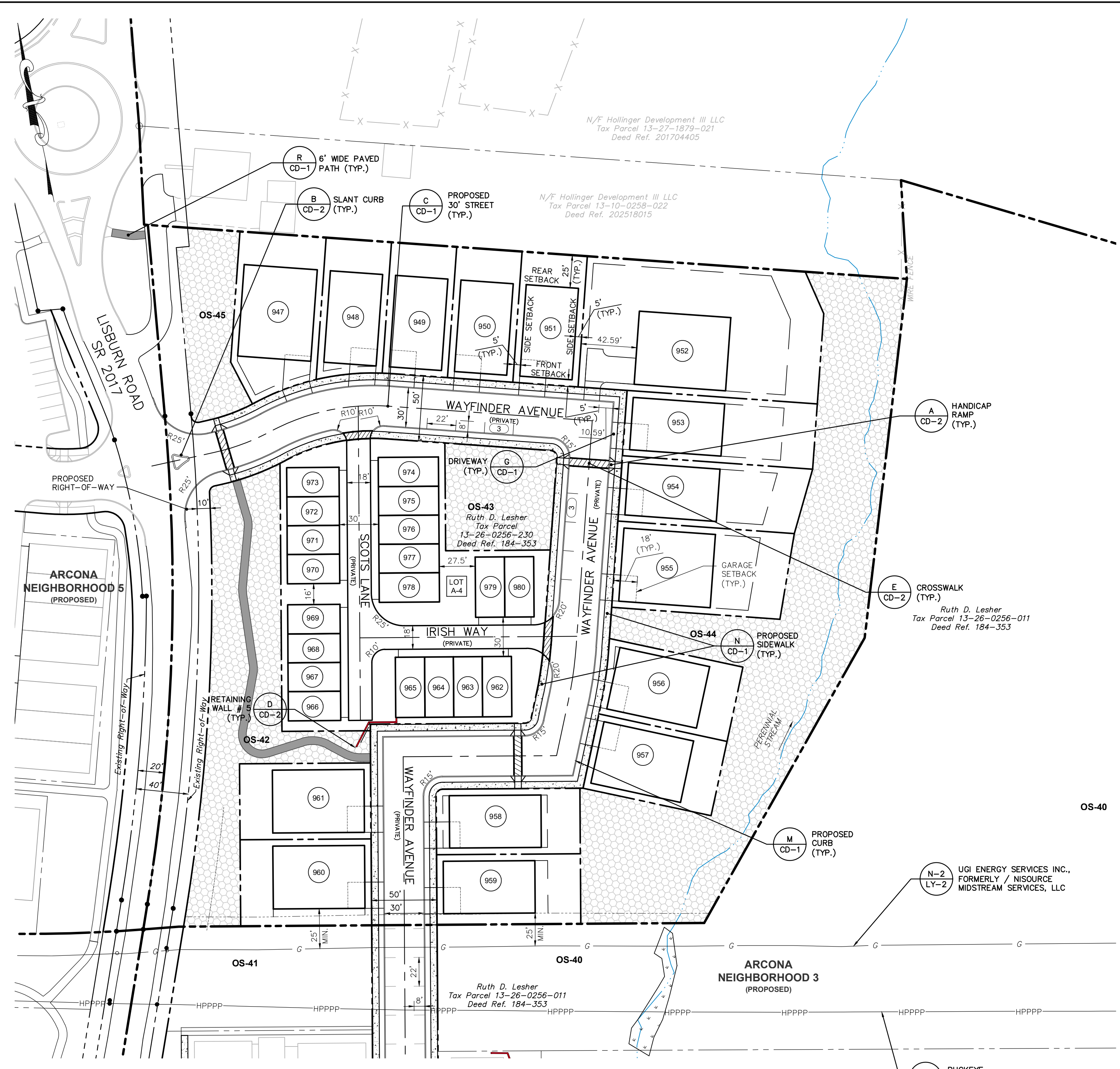
313 W. Liberty St., Suite 241 Lancaster, PA 17603 Phone: (717) 283-4538  
**TOWNE SQUARE ENGINEERING**  
Civil Engineers & Land Planners  
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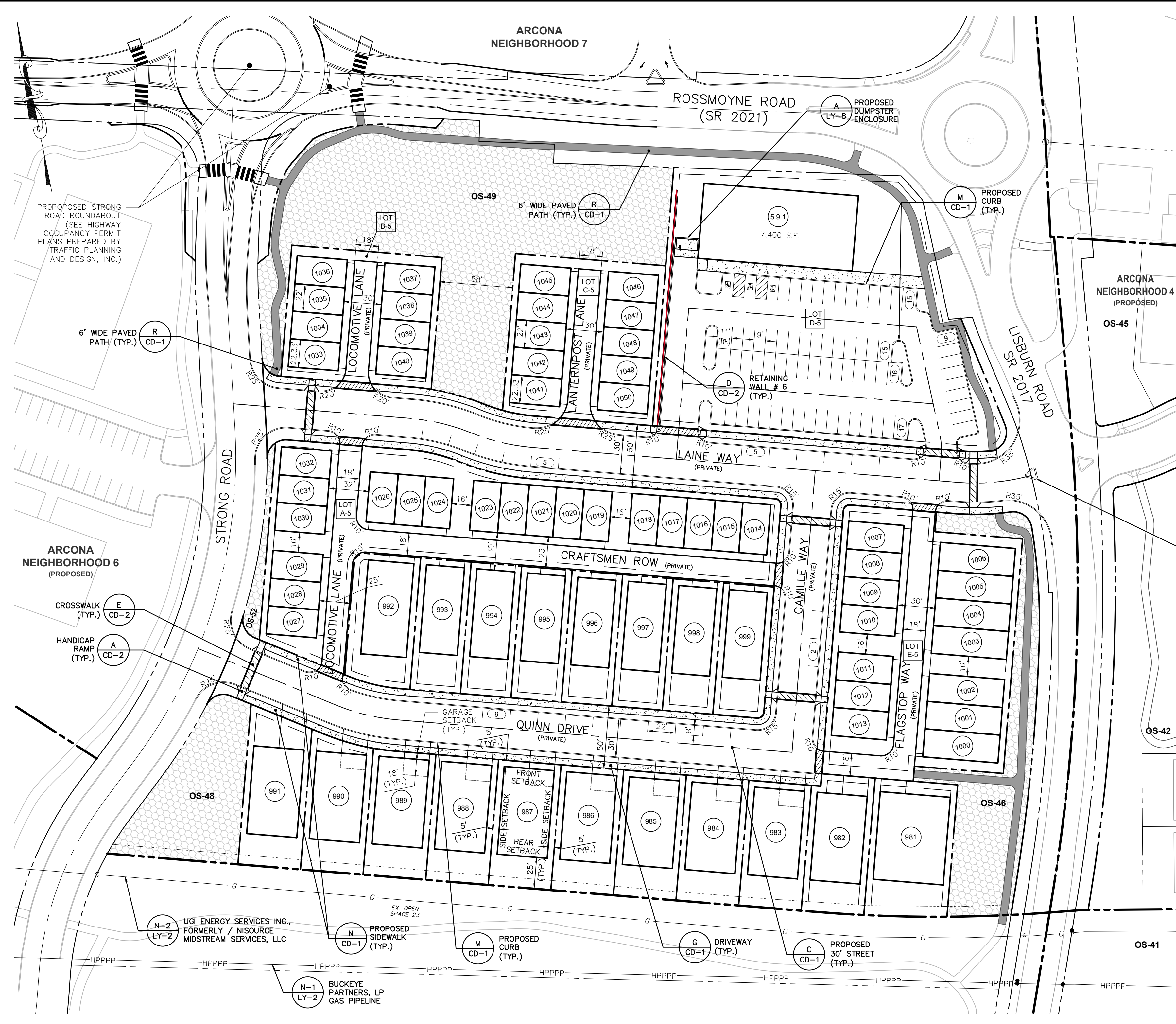
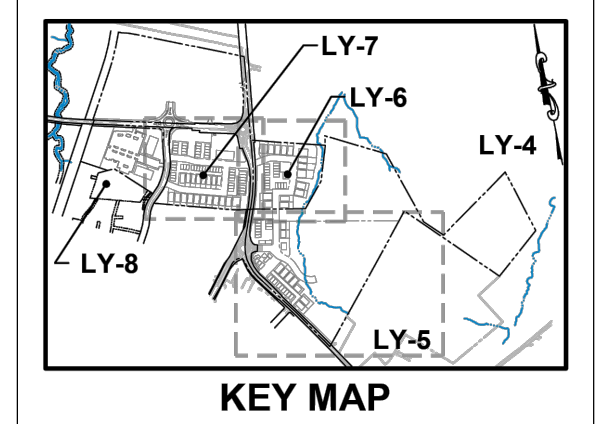
DATE	REVISIONS
3/27/26	ADDRESS TMP. ENG. LTR. DATED 3/19/26
2/24/26	UPDATE PLAN TO REMOVE NEIGHBORHOOD 7
2/10/26	ADDRESS CDD & TMP. ENG. COMMENTS
1/19/26	REVISED FOR CHN CHANGES

LOT #	Approved Address	Phase No.
947	???? Wayfinder Avenue Mechanicburg PA 17055	4
948	???? Wayfinder Avenue Mechanicburg PA 17055	4
949	???? Wayfinder Avenue Mechanicburg PA 17055	4
950	???? Wayfinder Avenue Mechanicburg PA 17055	4
951	???? Wayfinder Avenue Mechanicburg PA 17055	4
952	???? Wayfinder Avenue Mechanicburg PA 17055	4
953	???? Wayfinder Avenue Mechanicburg PA 17055	4
954	???? Wayfinder Avenue Mechanicburg PA 17055	4
955	???? Wayfinder Avenue Mechanicburg PA 17055	4
956	???? Wayfinder Avenue Mechanicburg PA 17055	4
957	???? Wayfinder Avenue Mechanicburg PA 17055	4
958	???? Wayfinder Avenue Mechanicburg PA 17055	4
959	???? Wayfinder Avenue Mechanicburg PA 17055	4
960	???? Wayfinder Avenue Mechanicburg PA 17055	4
961	???? Wayfinder Avenue Mechanicburg PA 17055	4
962	???? Irish Way Mechanicburg PA 17055	4
963	???? Irish Way Mechanicburg PA 17055	4
964	???? Irish Way Mechanicburg PA 17055	4
965	???? Irish Way Mechanicburg PA 17055	4
966	???? Scots Lane Mechanicburg PA 17055	4
967	???? Scots Lane Mechanicburg PA 17055	4
968	???? Scots Lane Mechanicburg PA 17055	4
969	???? Scots Lane Mechanicburg PA 17055	4
970	???? Scots Lane Mechanicburg PA 17055	4
971	???? Scots Lane Mechanicburg PA 17055	4
972	???? Scots Lane Mechanicburg PA 17055	4
973	???? Scots Lane Mechanicburg PA 17055	4
974	???? Scots Lane Mechanicburg PA 17055	4
975	???? Scots Lane Mechanicburg PA 17055	4
976	???? Scots Lane Mechanicburg PA 17055	4
977	???? Scots Lane Mechanicburg PA 17055	4
978	???? Scots Lane Mechanicburg PA 17055	4
979	???? Irish Way Mechanicburg PA 17055	4
980	???? Irish Way Mechanicburg PA 17055	4

**LEGEND**  
 OPEN SPACE  
 LOT DESIGNATIONS  
 LOT OR DWELLING UNIT NUMBER  
 BLOCK LOT DESIGNATION

- NOTES:**
- SEE EA-1 FOR ALL PROPOSED EASEMENTS AND EXISTING EASEMENTS TO BE EXTINGUISHED.
  - PROPOSED CURBS SHOWN ON THIS PLAN IS TO BE BELGIAN BLOCK.
  - STREET ADDRESSES WILL BE POSTED ALONG PRIVATE DRIVES FOR UNITS WITH ONLY PRIVATE DRIVE ACCESS.
  - ALL PRIVATE DRIVES ARE TO BE CONSIDERED PUBLIC EASEMENTS FOR PUBLIC ACCESS AND ALL UTILITIES.
  - PRIVATE STREETS TO BE OWNED AND MAINTAINED BY THE NEIGHBORHOOD ASSOCIATION (NA).
  - EACH DWELLING UNIT WILL HAVE INDIVIDUAL REFUSE PICKUP. ALL RESIDENTIAL UNIT OWNERS ARE REQUIRED TO PLACE REFUSE AT A COLLECTION POINT ACCESSIBLE FOR TRUCK PICKUP. AS DIRECTED BY THE NEIGHBORHOOD ASSOCIATION DOCUMENTS. HOMEOWNERS WILL BE REQUIRED TO BRING REFUSE TO END OF DRIVES.
  - SEE TABLE ON SHEET LY-4 THROUGH LY-8 FOR APPROVED STREET ADDRESSES.
  - SEE SHEET PL-1 THRU PL-6 FOR LOT AREAS, BEARINGS AND DISTANCES.
  - THE SPEED LIMIT FOR STREETS IN NEIGHBORHOODS 3, 4, & 5 SHALL BE POSTED AT 15 MPH.
  - SINGLE-FAMILY FRONT LOAD DRIVEWAYS MUST BE 18' (MIN.) DEEP MEASURED FROM STREET RIGHT-OF-WAY.
  - THE FIRST 20' OF ANY DRIVEWAY THAT ENTERS ONTO A STREET SHALL HAVE A MAXIMUM SLOPE OF 7% (SECTION 192-57.B.3.c(2)).
  - DRIVEWAY SLOPES WILL BE DETERMINED AND PROVIDED TO THE TOWNSHIP AT THE TIME OF BUILDING PERMIT APPLICATION FOR EACH DWELLING UNIT.





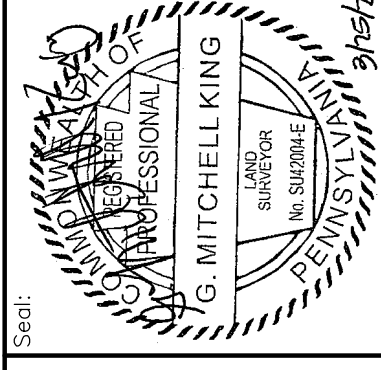
**ARCONA NEIGHBORHOOD 5 - Accessible Space Parking Summary**

LOT	DESCRIPTION	TOTAL # SPACES	ADA ACCESSIBLE SPACES	
			REQUIRED	PROPOSED
D-5	Parking Lot - Commercial (5.9.1)	72 (Spaces)	3	3
<b>Total Parking Spaces</b>		<b>72</b>	<b>3</b>	<b>3</b>

LOT # / BLDG. #	Approved Address	Phase No.
981	???? Flagstop Way Mechanicsburg PA 17055	5
982	???? Flagstop Way Mechanicsburg PA 17055	5
983	???? Quinn Drive Mechanicsburg PA 17055	5
984	???? Quinn Drive Mechanicsburg PA 17055	5
985	???? Quinn Drive Mechanicsburg PA 17055	5
986	???? Quinn Drive Mechanicsburg PA 17055	5
987	???? Quinn Drive Mechanicsburg PA 17055	5
988	???? Quinn Drive Mechanicsburg PA 17055	5
989	???? Quinn Drive Mechanicsburg PA 17055	5
990	???? Quinn Drive Mechanicsburg PA 17055	5
991	???? Quinn Drive Mechanicsburg PA 17055	5
992	???? Quinn Drive Mechanicsburg PA 17055	5
993	???? Quinn Drive Mechanicsburg PA 17055	5
994	???? Quinn Drive Mechanicsburg PA 17055	5
995	???? Quinn Drive Mechanicsburg PA 17055	5
996	???? Quinn Drive Mechanicsburg PA 17055	5
997	???? Quinn Drive Mechanicsburg PA 17055	5
998	???? Quinn Drive Mechanicsburg PA 17055	5
999	???? Quinn Drive Mechanicsburg PA 17055	5
1000	???? Flagstop Way Mechanicsburg PA 17055	5
1001	???? Flagstop Way Mechanicsburg PA 17055	5
1002	???? Flagstop Way Mechanicsburg PA 17055	5
1003	???? Flagstop Way Mechanicsburg PA 17055	5
1004	???? Flagstop Way Mechanicsburg PA 17055	5
1005	???? Flagstop Way Mechanicsburg PA 17055	5
1006	???? Flagstop Way Mechanicsburg PA 17055	5
1007	???? Camille Way Mechanicsburg PA 17055	5
1008	???? Camille Way Mechanicsburg PA 17055	5
1009	???? Camille Way Mechanicsburg PA 17055	5
1010	???? Camille Way Mechanicsburg PA 17055	5
1011	???? Camille Way Mechanicsburg PA 17055	5
1012	???? Camille Way Mechanicsburg PA 17055	5
1013	???? Camille Way Mechanicsburg PA 17055	5
1014	???? Laine Way Mechanicsburg PA 17055	5
1015	???? Laine Way Mechanicsburg PA 17055	5
1016	???? Laine Way Mechanicsburg PA 17055	5
1017	???? Laine Way Mechanicsburg PA 17055	5
1018	???? Laine Way Mechanicsburg PA 17055	5
1019	???? Laine Way Mechanicsburg PA 17055	5
1020	???? Laine Way Mechanicsburg PA 17055	5
1021	???? Laine Way Mechanicsburg PA 17055	5
1022	???? Laine Way Mechanicsburg PA 17055	5
1023	???? Laine Way Mechanicsburg PA 17055	5
1024	???? Laine Way Mechanicsburg PA 17055	5
1025	???? Laine Way Mechanicsburg PA 17055	5
1026	???? Laine Way Mechanicsburg PA 17055	5
1027	???? Locomotive Lane Mechanicsburg PA 17055	5
1028	???? Locomotive Lane Mechanicsburg PA 17055	5
1029	???? Locomotive Lane Mechanicsburg PA 17055	5
1030	???? Locomotive Lane Mechanicsburg PA 17055	5
1031	???? Locomotive Lane Mechanicsburg PA 17055	5
1032	???? Locomotive Lane Mechanicsburg PA 17055	5
1033	???? Locomotive Lane Mechanicsburg PA 17055	5
1034	???? Locomotive Lane Mechanicsburg PA 17055	5
1035	???? Locomotive Lane Mechanicsburg PA 17055	5
1036	???? Locomotive Lane Mechanicsburg PA 17055	5
1037	???? Locomotive Lane Mechanicsburg PA 17055	5
1038	???? Locomotive Lane Mechanicsburg PA 17055	5
1039	???? Locomotive Lane Mechanicsburg PA 17055	5
1040	???? Locomotive Lane Mechanicsburg PA 17055	5
1041	???? Lanternpost Lane Mechanicsburg PA 17055	5
1042	???? Lanternpost Lane Mechanicsburg PA 17055	5
1043	???? Lanternpost Lane Mechanicsburg PA 17055	5
1044	???? Lanternpost Lane Mechanicsburg PA 17055	5
1045	???? Lanternpost Lane Mechanicsburg PA 17055	5
1046	???? Lanternpost Lane Mechanicsburg PA 17055	5
1047	???? Lanternpost Lane Mechanicsburg PA 17055	5
1048	???? Lanternpost Lane Mechanicsburg PA 17055	5
1049	???? Lanternpost Lane Mechanicsburg PA 17055	5
1050	???? Lanternpost Lane Mechanicsburg PA 17055	5
5.9.1	???? Rossmoyne Road Mechanicsburg PA 17055	5

**REMAINING ARCONA NEIGHBORHOODS**  
Lower Allen Township - Cumberland County, PA  
CHARTER Homes & Neighborhoods

Drafting: D TURNER  
 Checked by: K POSTLETHWAIT  
 Project Engineer: G. MITCHELL KING PE, PLS  
 Project Surveyor: THOMAS K. PHILLIPS PLS  
 Scale: 1" = 50'  
 Project Manager: DAVID B. KEGERIZE PE  
 Project Engineer: G. MITCHELL KING PE, PLS



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 Lancaster, PA 17603  
 Phone: (717) 283-4538  
**Civil Engineers & Land Planners**  
 info@townesquareengineering.com

- NOTES:**
- SEE EA-1 FOR ALL PROPOSED EASEMENTS AND EXISTING EASEMENTS TO BE EXTINGUISHED.
  - PROPOSED CURB SHOWN ON THIS PLAN IS TO BE BELGIAN BLOCK.
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  - ALL PRIVATE DRIVES ARE TO BE CONSIDERED PUBLIC EASEMENTS FOR PUBLIC ACCESS AND ALL UTILITIES.
  - PRIVATE STREETS TO BE OWNED AND MAINTAINED BY THE NEIGHBORHOOD ASSOCIATION (NA).
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  - SEE TABLE ABOVE FOR APPROVED STREET ADDRESSES.
  - DRIVEWAY SLOPES WILL BE DETERMINED AND PROVIDED TO THE TOWNSHIP AT THE TIME OF BUILDING PERMIT APPLICATION FOR EACH DWELLING UNIT.
  - THE SPEED LIMIT FOR STREETS IN NEIGHBORHOOD 3, 4, & 5 SHALL BE POSTED AT 15 MPH.
  - SINGLE-FAMILY FRONT LOAD DRIVEWAYS MUST BE 18" (MIN.) DEEP MEASURED FROM STREET RIGHT-OF-WAY.
  - THE FIRST 20' OF ANY DRIVEWAY THAT ENTERS ONTO A STREET SHALL HAVE A MAXIMUM SLOPE OF 7% (SECTION 192-57.B.3.c[2]).
  - DRIVEWAY SLOPES WILL BE DETERMINED AND PROVIDED TO THE TOWNSHIP AT THE TIME OF BUILDING PERMIT APPLICATION FOR EACH DWELLING UNIT.
  - EACH PARKING SPACE ADJACENT TO A LANDSCAPE ISLAND AT THE END OF A PARKING ROW MUST INCLUDE AN ADDITIONAL TWO FEET TO ALLOW ACCESS TO THE VEHICLE.

**LEGEND**

OPEN SPACE

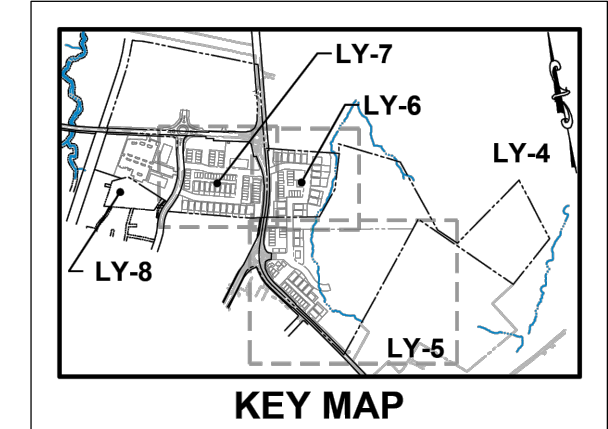
**LOT DESIGNATIONS**

LOT OR DWELLING UNIT NUMBER

BLOCK LOT DESIGNATION

NO.	DATE	REVISIONS
1	3/27/26	ADDRESS IMP. ENG. LTR. DATED 3/19/26
2	2/24/26	UPDATE PLAN TO REMOVE NEIGHBORHOOD 7
3	2/10/26	ADDRESS CDD & IMP. ENG. COMMENTS
4	1/19/26	REVISED FOR CHN CHANGES

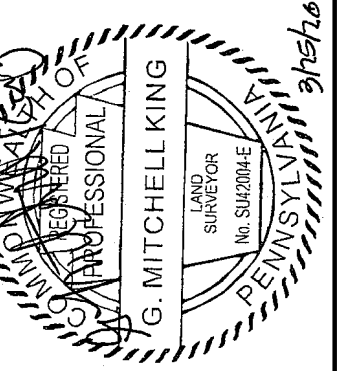
Section Number:  
**LY-7**



BLDG. #	Approved Address	Phase No.
6.9.1	???? Strong Road Mechanicsburg PA 17055	6
6.9.2	???? Strong Road Mechanicsburg PA 17055	6

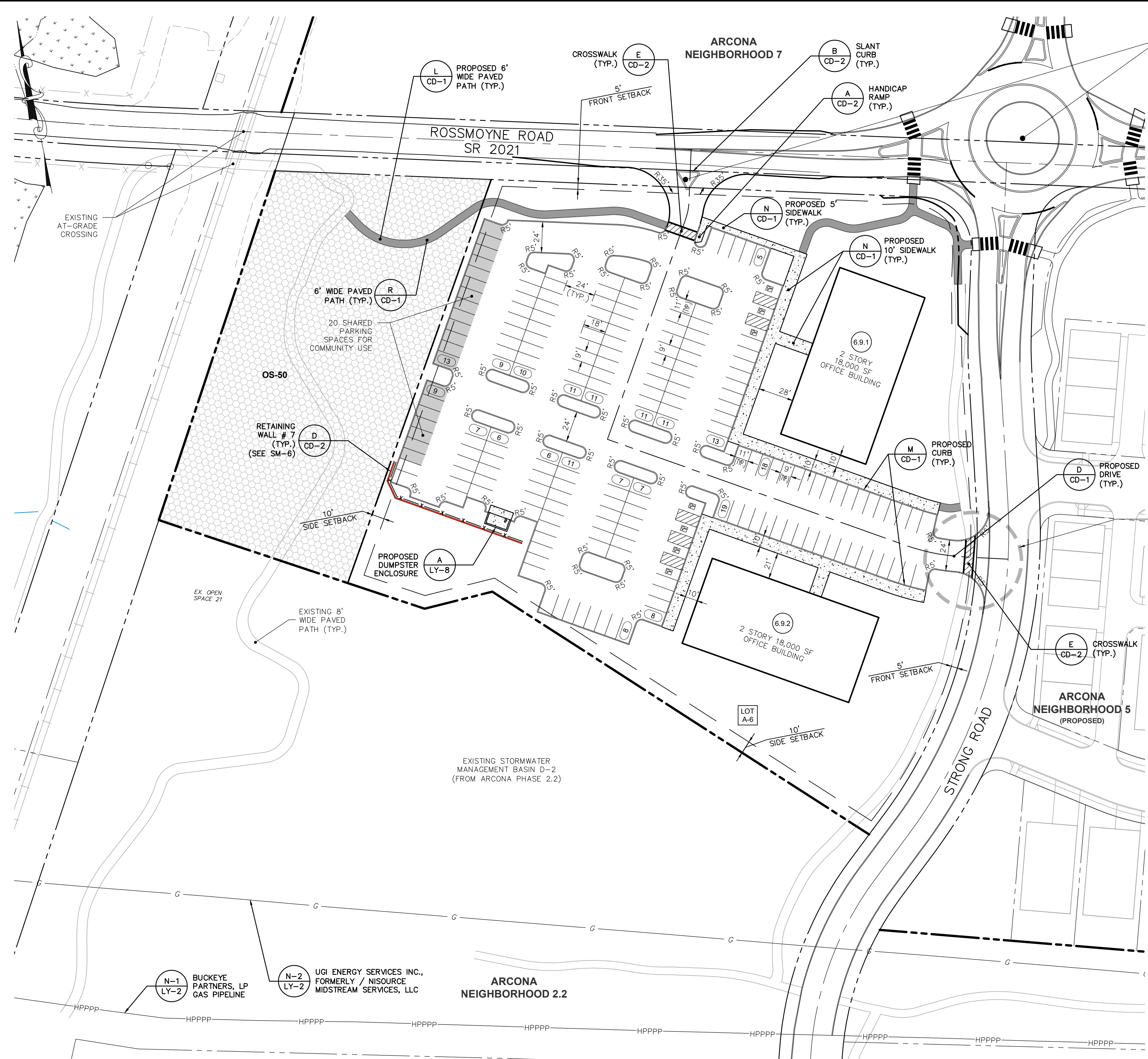
**REMAINING ARCONA NEIGHBORHOODS**  
 Lower Allen Township - Cumberland County, PA  
**LAYOUT PLAN - NEIGHBORHOOD 6**

Drafting: **D TURNER**  
 Checked by: **K POSTLETHWAIT**  
 Project Engineer: **G. MITCHELL KING PE, PLS**  
 Project Surveyor: **THOMAS K. PHILLIPS PLS**  
 Scale: **1" = 50'**



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 Lancaster, PA 17603  
 Phone: (717) 283-4538  
**TOWNE SQUARE ENGINEERING**  
**Civil Engineers & Land Planners**  
 info@townesquareengineering.com

DATE	REVISIONS
3/27/26	ADDRESS TMP. ENG. LTR. DATED 3/19/26
2/24/26	UPDATE PLAN TO REMOVE NEIGHBORHOOD 7
2/10/26	ADDRESS CDD & TMP. ENG. COMMENTS
1/19/26	REVISED FOR CHN CHANGES



PROPOSED STRONG ROAD ROUND ABOUT (SEE HIGHWAY OCCUPANCY PERMIT PLANS PREPARED BY TRAFFIC PLANNING AND DESIGN, INC.)

RECONSTRUCT EXISTING CURB AND PATH WITH RAMPS AND CURB CUTS AS NECESSARY TO FORM NEW ACCESS DRIVE.

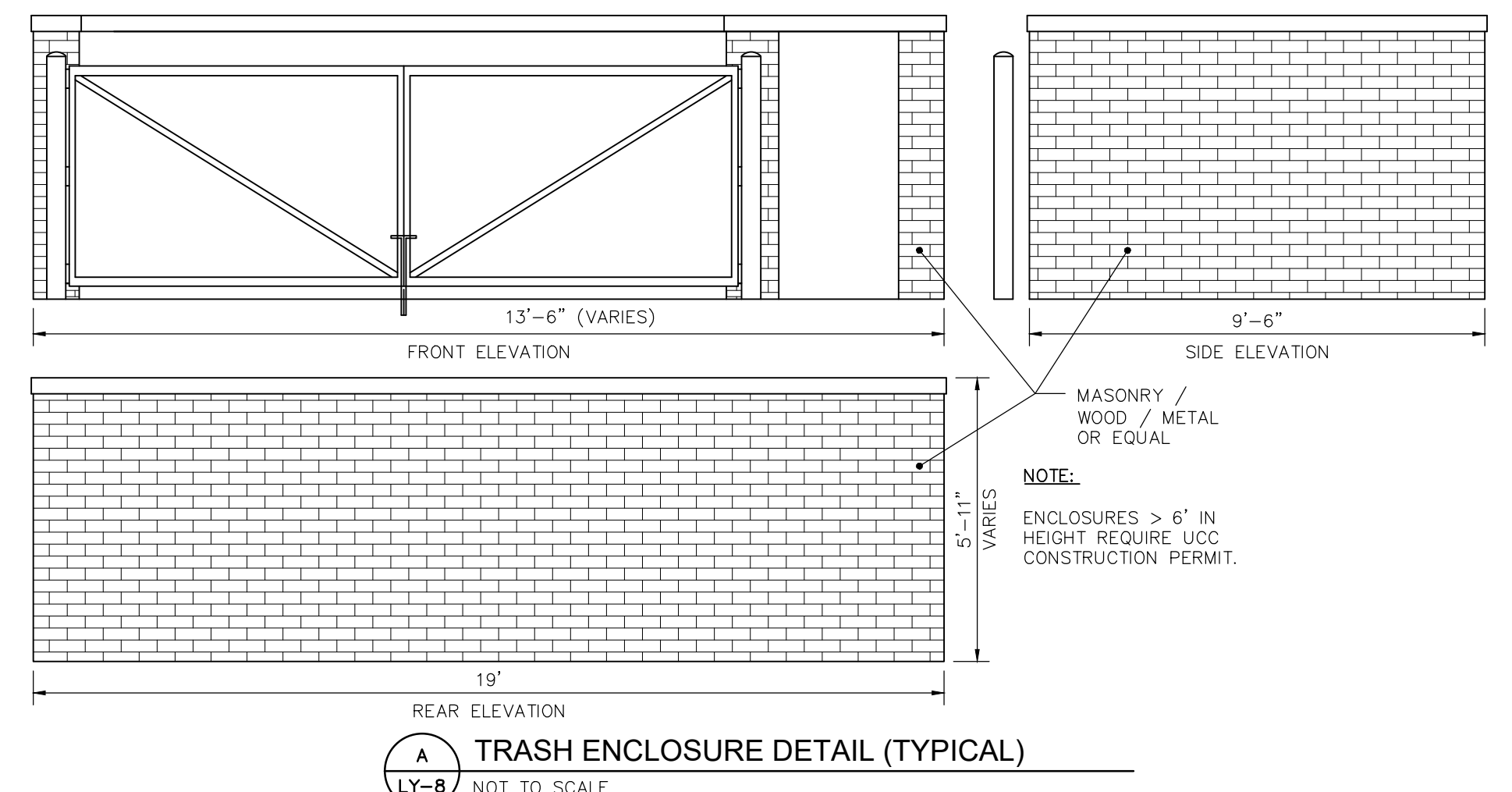
**ARCONA NEIGHBORHOOD 6 - Accessible Space Parking Summary**

LOT	DESCRIPTION	TOTAL # SPACES	ACCESSIBLE SPACES	
			REQUIRED	PROPOSED
A-6	Parking Lot - Commercial	200 (Spaces)	6	7
		<b>200</b>	<b>6</b>	<b>7</b>

**Buildings 6.9.1 and 6.9.2 (2-Story)**

Floor	Maximum Gross Floor Area (s.f.)	
	Allowable *	Proposed **
First Floor	10,000 s.f.	9,000 s.f.
Second Floor	10,000 s.f.	9,000 s.f.
<b>Total</b>	<b>20,000 s.f.</b>	<b>18,000 s.f.</b>

\* Zoning Section 220-128.F.(2).(a)  
 \*\* Gross floor area for each building



**LEGEND**

OPEN SPACE

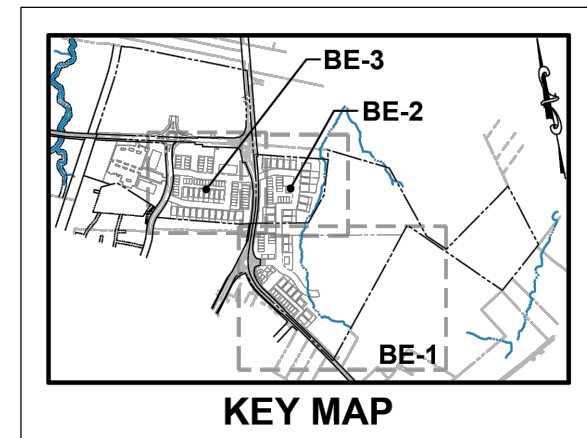
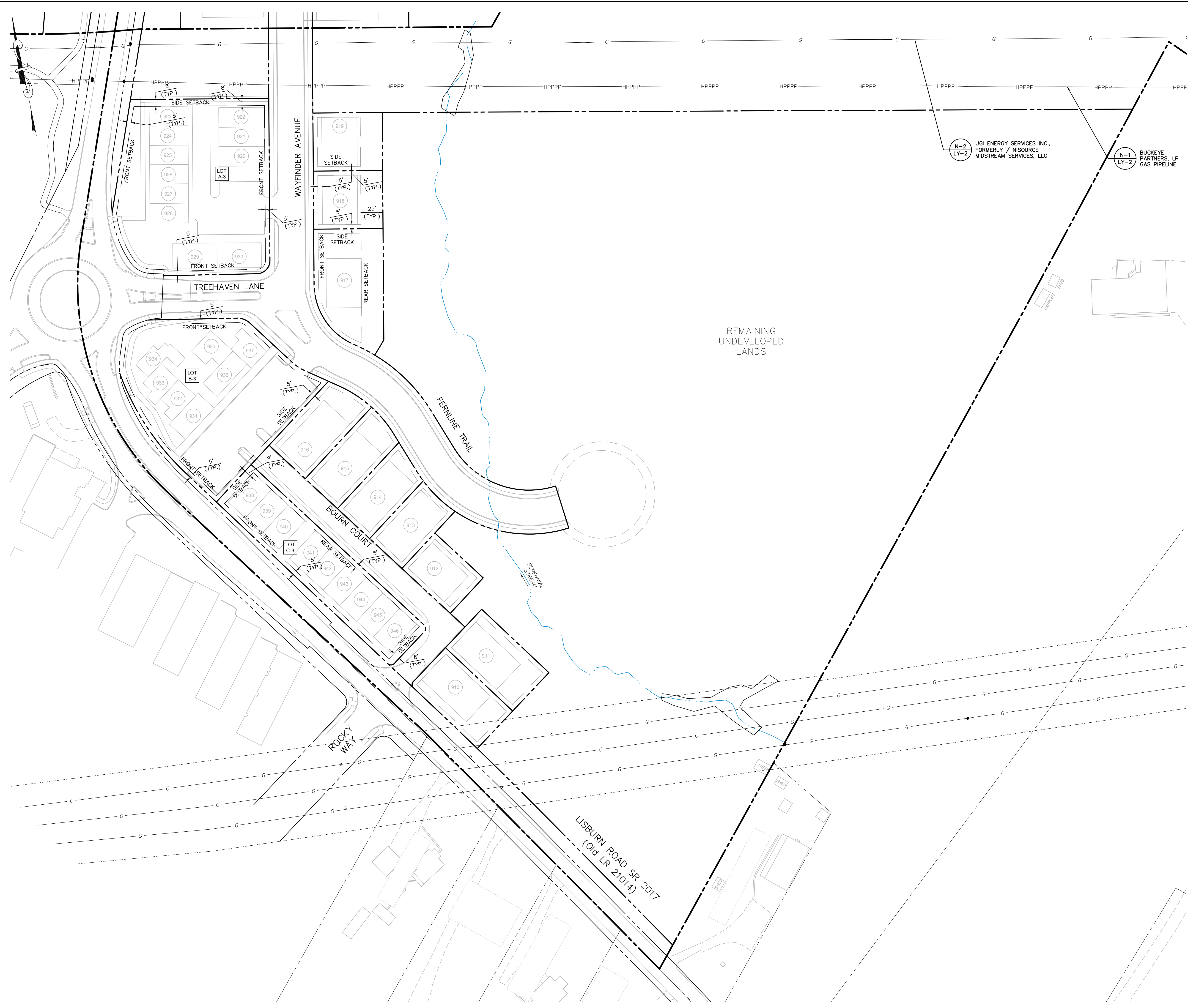
**LOT DESIGNATIONS**

LOT OR DWELLING UNIT NUMBER

BLOCK LOT DESIGNATION

- NOTES:**
- SEE EA-1 FOR ALL PROPOSED EASEMENTS AND EXISTING EASEMENTS TO BE EXTINGUISHED.
  - PROPOSED CURB SHOWN ON THIS PLAN IS TO BE BELGIAN BLOCK.
  - BUILDINGS WILL HAVE INDIVIDUAL REFUSE PICKUP.
  - SEE SHEET PL-1 THRU PL-6 FOR LOT AREAS, BEARINGS AND DISTANCES.
  - EACH PARKING SPACE ADJACENT TO A LANDSCAPE ISLAND AT THE END OF A PARKING ROW MUST INCLUDE AN ADDITIONAL TWO FEET TO ALLOW ACCESS TO THE VEHICLE.
  - NEIGHBORHOOD 6 DOES NOT REPRESENT A LARGE SINGLE-USE COMMERCIAL LOT PER § 220-128.F.1.
  - NEIGHBORHOOD 6 REPRESENTS A MULTIPLE USE LOT (PER § 220-128.F.2). THE BUILDINGS 6.9.1 & 6.9.2 CANNOT INCLUDE A SINGLE FLOOR LARGER THAN 10,000 S.F. GROSS FLOOR AREA.
  - SEE SHADED AREA FOR (20) COMMUNITY / SHARED PARKING SPACES.

**A** TRASH ENCLOSURE DETAIL (TYPICAL)  
 NOT TO SCALE



- NOTES:**
- For lots that have frontage along a street other than an alley (including block lots on which multiple dwellings or buildings will be constructed and on dwelling lots on which one dwelling is to be constructed), the street frontage will establish the front yard per the definition of "lot line, front" under Section 220-6.C. On a corner lot, all lot lines which abut a street other than an alley shall be front lot lines and each lot line opposite each front line shall be a side lot line. On a through lot, the front lot line shall be the lot line which abuts the street providing the primary access to the lot.
  - Upon completion of construction of proposed dwellings on each of Lots A-3, B-3 and C-3 each such lot shall not be further subdivided.
  - The separation of buildings on Lots A-3, B-3 and C-3 is regulated by the applicable provisions of building codes adopted under the Pennsylvania Construction Code Act.
  - Notwithstanding the foregoing, buildings located on opposite sides of an alley shall be separated by a minimum distance of 30 feet including architectural projections.

Building	Use Description	Setbacks	
Single-Family Detached	Residential	Front Yard Setback	5'
		Side Yard Setback (10' Total)	5'
		Rear Yard Setback	25'
		Rear Yard Setback w/ Alley	5'
Single-Family Attached	Residential	Front Yard Setback	5'
		Side Yard Setback	8'
		Rear Yard Setback	25'
		Rear Yard Setback w/ Alley	5'

**NOTE:**  
VISUAL OFFSET PROVISIONS WILL BE MET VIA STEPPED ARCHITECTURE AND GRADING VERIFIED AT BUILDING PERMIT APPLICATION.

LOT A-3 BLOCK LOT

Sheet Number: 18 of 81  
 Project Number: 15-100-35  
 Date: DECEMBER 17, 2025

**REMAINING ARCONA NEIGHBORHOODS**  
 Lower Allen Township - Cumberland County, PA  
 CHARTER Home & Neighborhoods

**BUILDING SETBACK EXHIBIT - NEIGHBORHOOD 3.1**

Project Manager: DAVID B. KEGERIZE PE  
 Project Engineer: G. MITCHELL KING PE, PLS  
 Project Surveyor: THOMAS K. PHILLIPS PLS

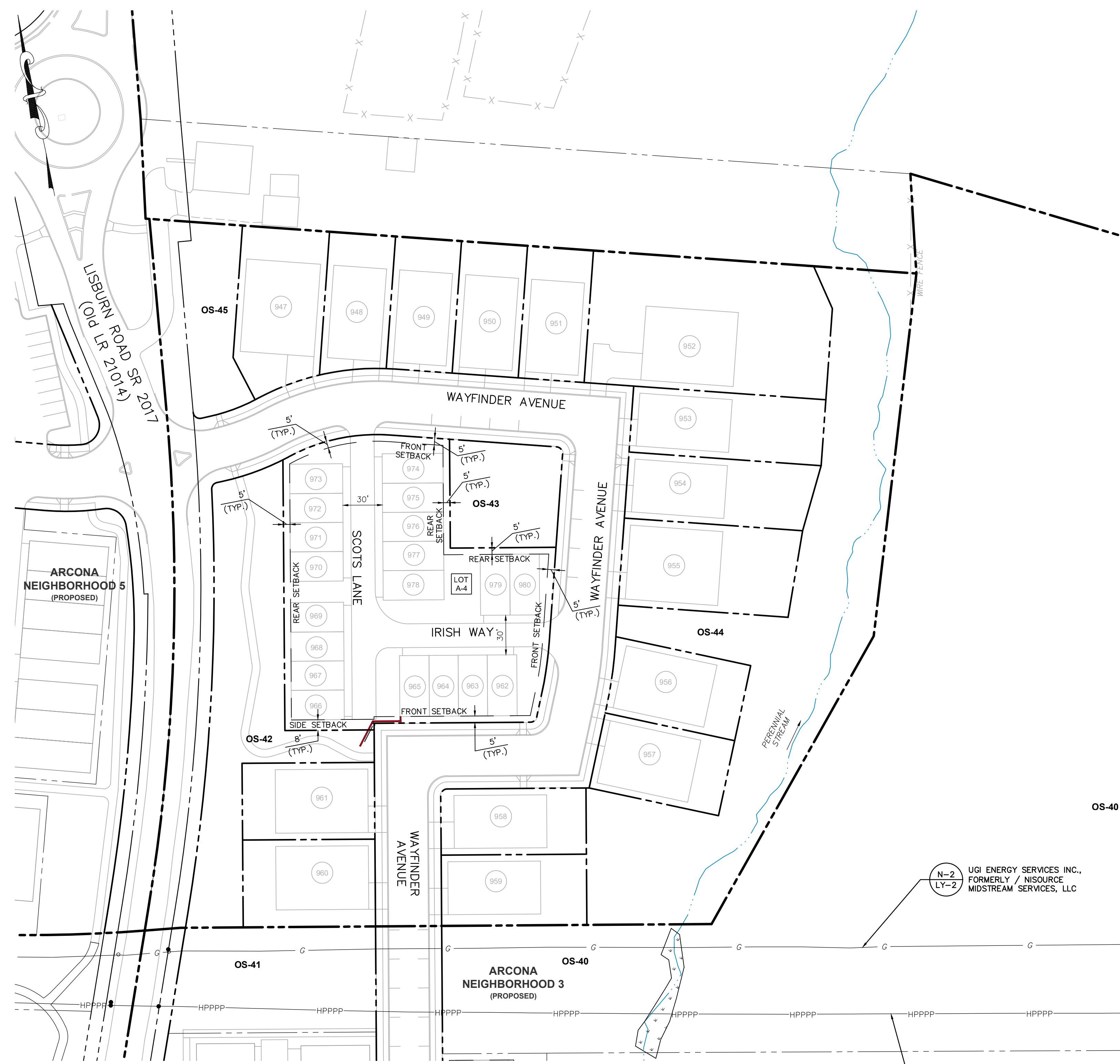
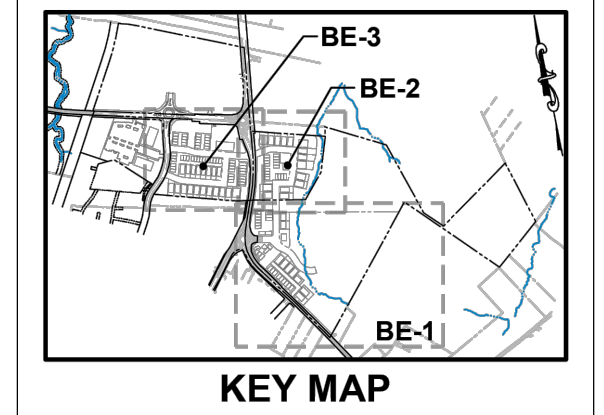
Drafting: D TURNER  
 Checked by: K POSTLETHWAIT  
 Scale: 1" = 50'

Seal: G. MITCHELL KING  
 Professional Engineer  
 No. 1000000000

313 W. Liberty St., Suite 241  
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**TOWNE SQUARE ENGINEERING**  
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DATE	REVISIONS
3/27/26	ADDRESS TMP. ENG. LTR. DATED 3/19/26
2/24/26	UPDATE PLAN TO REMOVE NEIGHBORHOOD 7
2/10/26	ADDRESS CDD & TMP. ENG. COMMENTS
1/19/26	REVISED FOR CH&N CHANGES

Section Number: BE-1  
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 3/26/2026 3:30 PM



**NOTES:**

- For lots that have frontage along a street other than an alley (including block lots on which multiple dwellings or buildings will be constructed and on dwelling lots on which one dwelling is to be constructed), the street frontage will establish the front yard per the definition of "lot line, front" under Section 220-6.C. On a corner lot, all lot lines which abut a street other than an alley shall be front lot lines and each lot line opposite each front line shall be a side lot line. On a through lot, the front lot line shall be the lot line which abuts the street providing the primary access to the lot.
- Upon completion of construction of proposed dwellings on each of Lot A-4, each such lot shall not be further subdivided.
- The separation of buildings on Lot A-4 is regulated by the applicable provisions of building codes adopted under the Pennsylvania Construction Code Act.
- Notwithstanding the foregoing, buildings located on opposite sides of an alley shall be separated by a minimum distance of 30 feet including architectural projections.

Building	Use Description	Setbacks	
		Setback	Value
Single-Family Detached	Residential	Front Yard Setback	5'
		Side Yard Setback (10' Total)	5'
		Rear Yard Setback	25'
		Rear Yard Setback w/ Alley	5'
Single-Family Attached	Residential	Front Yard Setback	5'
		Side Yard Setback	8'
		Rear Yard Setback	25'
		Rear Yard Setback w/ Alley	5'

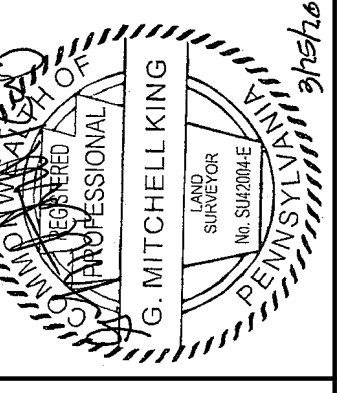
**NOTE:**

VISUAL OFFSET PROVISIONS WILL BE MET VIA STEPPED ARCHITECTURE AND GRADING VERIFIED AT BUILDING PERMIT APPLICATION.

LOT A-4 BLOCK LOT

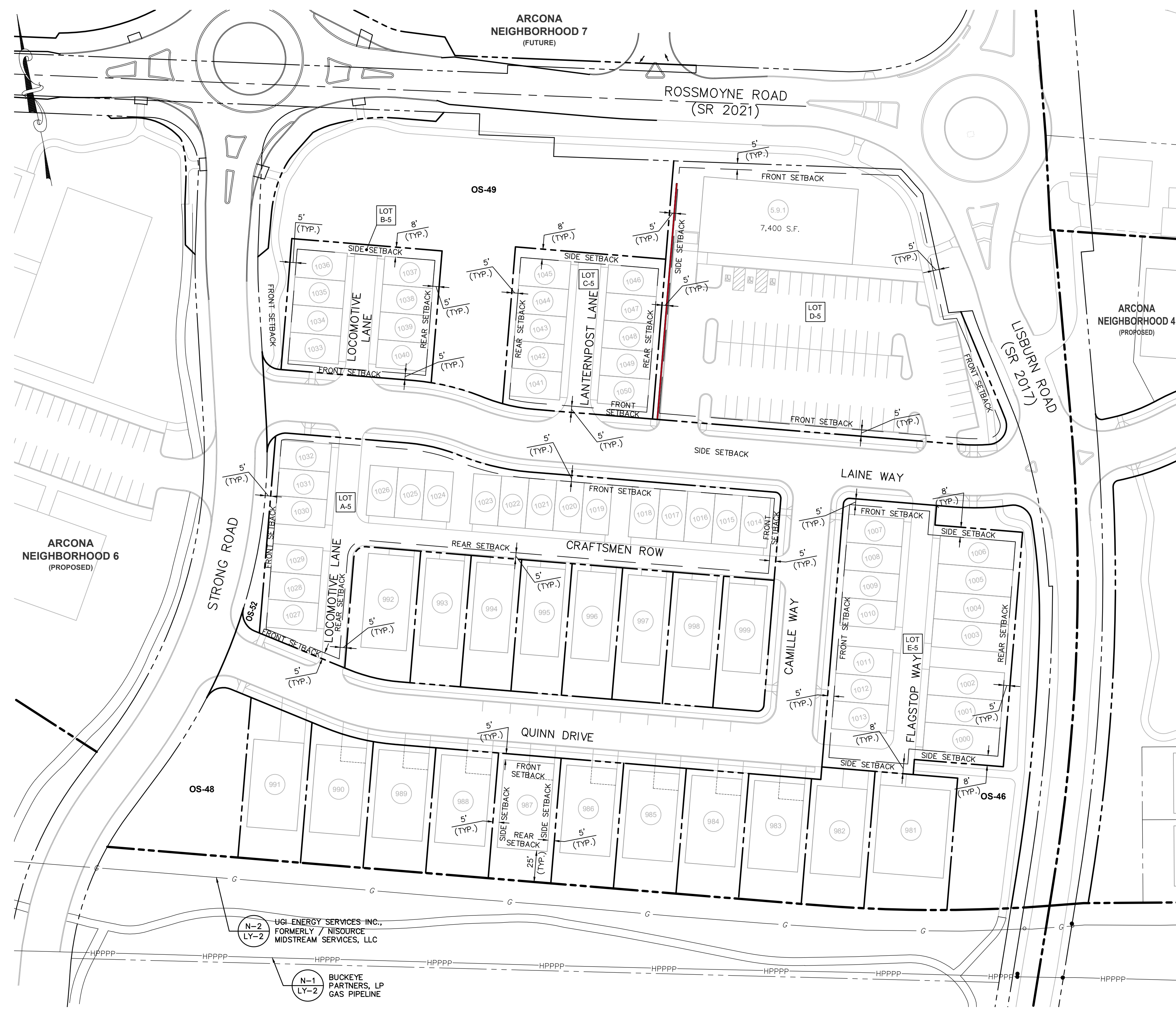
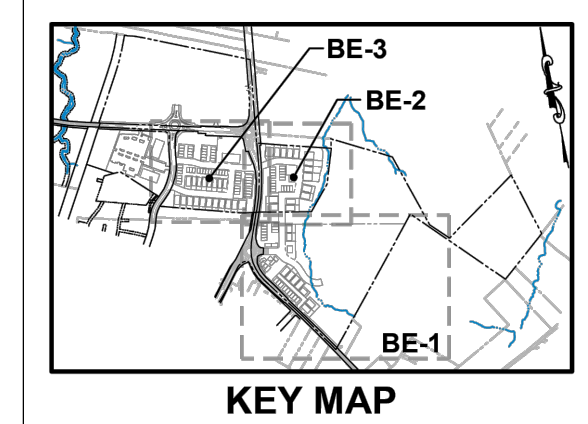
**REMAINING ARCONA NEIGHBORHOODS**  
 Lower Allen Township - Cumberland County, PA  
**BUILDING SETBACK EXHIBIT - NEIGHBORHOOD 4**

Drafting: D TURNER  
 Checked by: K POSTLETHWAIT  
 Project Engineer: G. MITCHELL KING PE, PLS  
 Project Surveyor: THOMAS K. PHILLIPS PLS  
 Scale: 1" = 50'



**TOWNE SQUARE ENGINEERING**  
**Civil Engineers & Land Planners**  
 info@townesquareengineering.com  
 313 W. Liberty St., Suite 241  
 Lancaster, PA 17603  
 Phone: (717) 283-4538

DATE	REVISIONS
3/27/26	ADDRESS TWP. ENG. LTR. DATED 3/19/26
2/24/26	UPDATE PLAN TO REMOVE NEIGHBORHOOD 7
2/10/26	ADDRESS CDD & TWP. ENG. COMMENTS
1/19/26	REVISED FOR CH&N CHANGES



- NOTES:**
- For lots that have frontage along a street other than an alley (including block lots on which multiple dwellings or buildings will be constructed and on dwelling lots on which one dwelling is to be constructed), the street frontage will establish the front yard per the definition of "lot line front" under Section 220-6.C. On a corner lot, all lot lines which abut a street other than an alley shall be front lot lines and each lot line opposite each front line shall be a side lot line. On a through lot, the front lot line shall be the lot line which abuts the street providing the primary access to the lot.
  - Upon completion of construction of proposed dwellings on each of Lots A-5, B-5, C-5, and D-5, each such lot shall not be further subdivided.
  - The separation of buildings on Lots A-5, B-5, C-5, and D-5 is regulated by the applicable provisions of building codes adopted under the Pennsylvania Construction Code Act.
  - Notwithstanding the foregoing, buildings located on opposite sides of an alley shall be separated by a minimum distance of 30 feet including architectural projections.

Building	Use Description	Setbacks
C-1	Commercial	Front Yard Setback 5'
		Side Yard Setback 10'
		Rear Yard Setback N/A
Single-Family Detached	Residential	Front Yard Setback 5'
		Side Yard Setback (10' Total) 5'
		Rear Yard Setback 25'
		Rear Yard Setback w/ Alley 5'
Single-Family Attached	Residential	Front Yard Setback 5'
		Side Yard Setback 8'
		Rear Yard Setback 25'
		Rear Yard Setback w/ Alley 5'

**NOTE:**  
VISUAL OFFSET PROVISIONS WILL BE MET VIA STEPPED ARCHITECTURE AND GRADING VERIFIED AT BUILDING PERMIT APPLICATION.

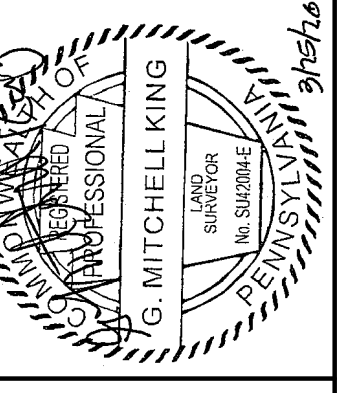
LOT A-5 BLOCK LOT

**REMAINING ARCONA NEIGHBORHOODS**  
Lower Allen Township - Cumberland County, PA  
CHARTER Homes & Neighborhoods

Project Manager: DAVID B. KEGERIZE PE  
Project Engineer: G. MITCHELL KING PE, PLS  
Project Surveyor: THOMAS K. PHILLIPS PLS

Drafting: D TURNER  
Checked by: K POSTLETHWAIT

Scale: 1" = 50'



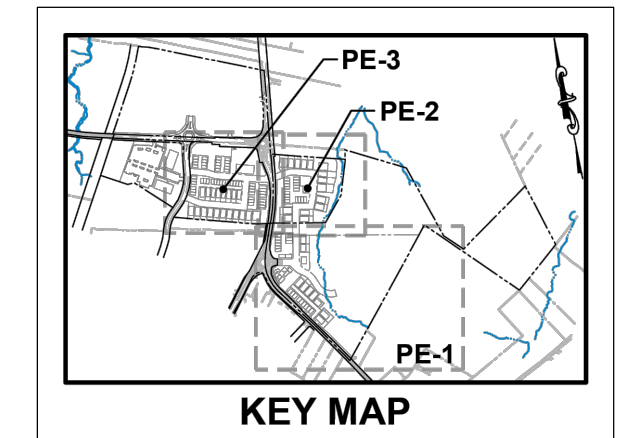
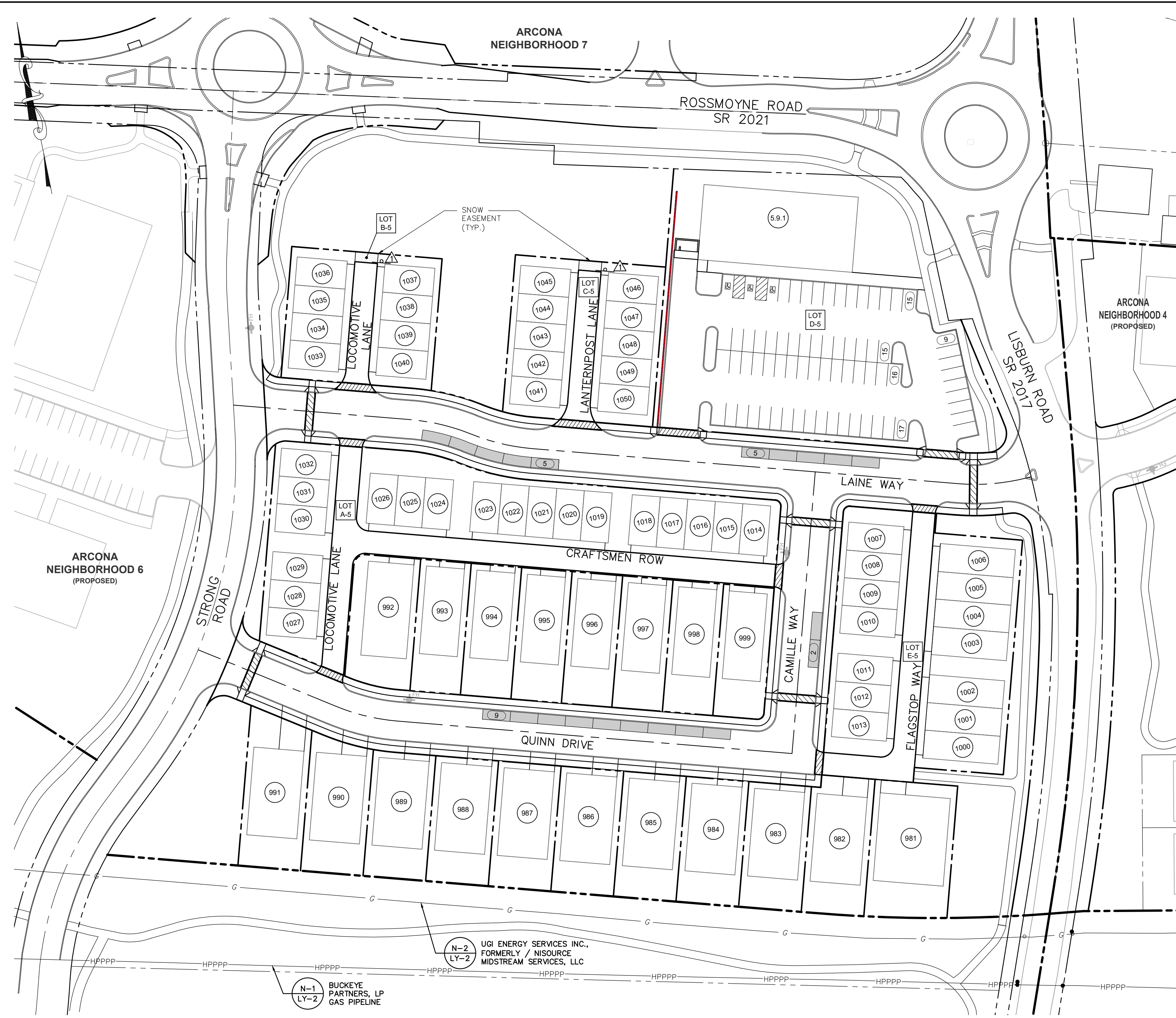
**TOWNE SQUARE ENGINEERING**  
Civil Engineers & Land Planners  
info@townesquareengineering.com

313 W. Liberty St., Suite 241  
Lancaster, PA 17603  
Phone: (717) 283-4538

DATE	REVISIONS
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2/10/26	ADDRESS CDD & TWP. ENG. COMMENTS
1/19/26	REVISED FOR CH&N CHANGES







Sheet Number: 23 of 81  
 Project Number: 15-100-35  
 Date: DECEMBER 17, 2025

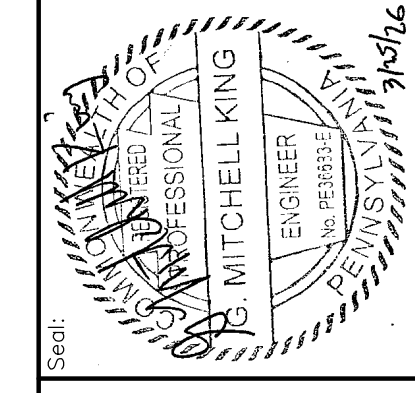
**REMAINING ARCONA NEIGHBORHOODS**  
 Lower Allen Township - Cumberland County, PA  
 CHARTER Homes & Neighborhoods

**GUEST PARKING & SNOW EASEMENT PLAN - NEIGHBORHOOD 5**

Project Manager: DAVID B. KEGERIZE PE  
 Project Engineer: G. MITCHELL KING PE, PLS  
 Project Surveyor: THOMAS K. PHILLIPS PLS

Drafting: D TURNER  
 Checked by: K POSTLETHWAIT

Scale: 1" = 50'



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**LEGEND**

DESCRIPTION	MULTICO #
NO PARKING	- R8-3
GUEST PARKING SPACES	
SNOW EASEMENT	

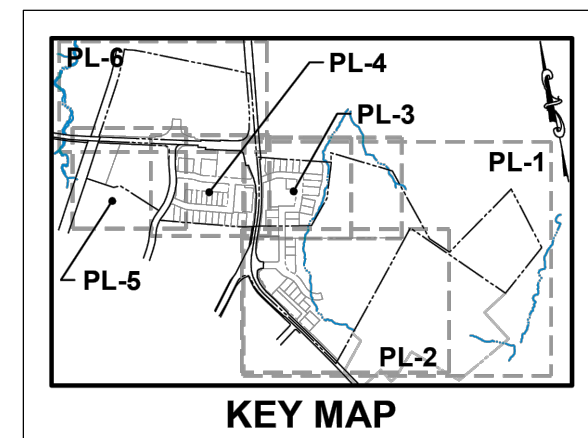
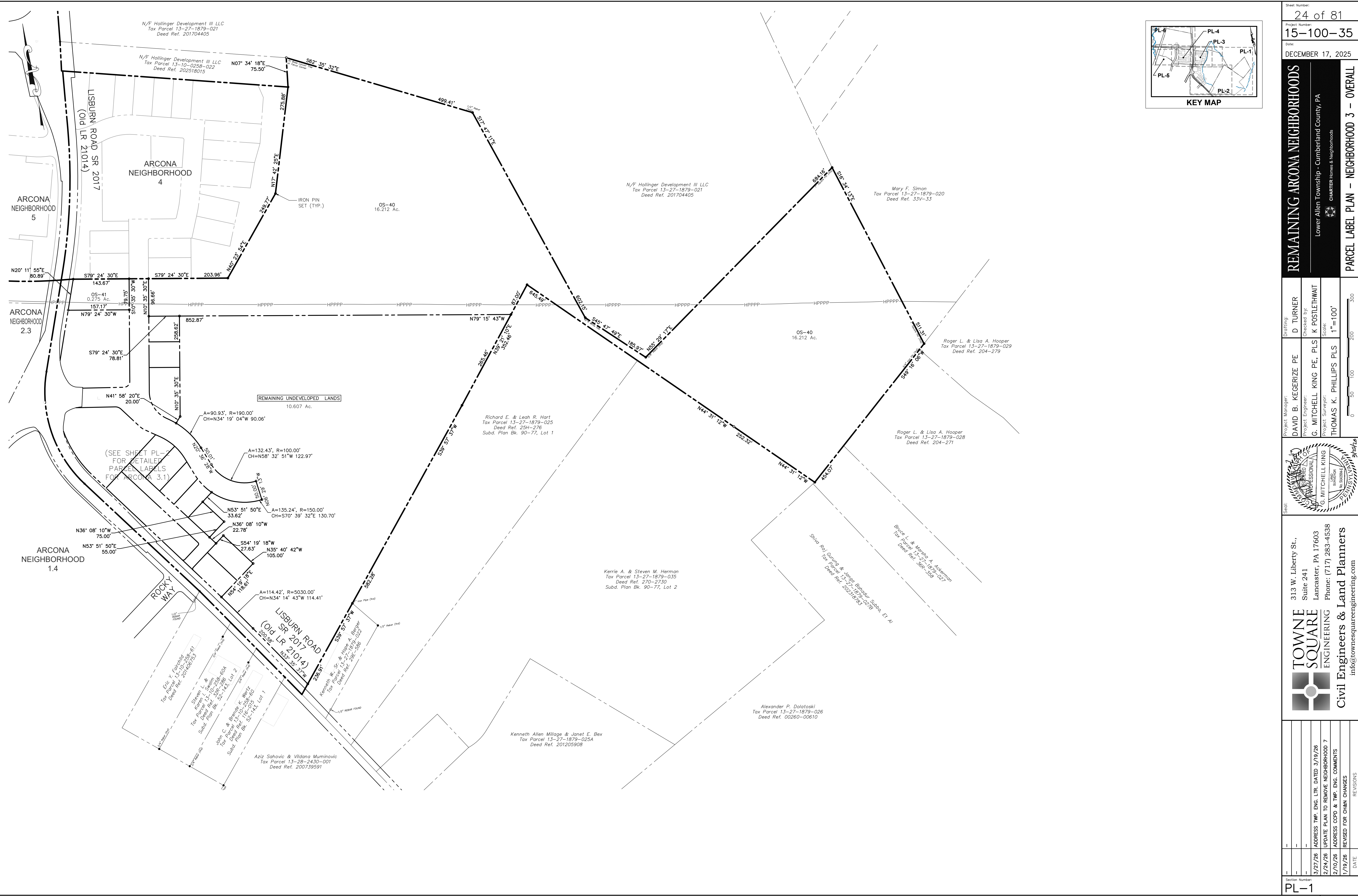
- NOTES:**
- NEIGHBORHOOD ASSOCIATION TO MAINTAIN AND KEEP CLEAR ALL SNOW EASEMENTS.
  - TO THE RIGHT OR LEFT AND IN FRONT OF EACH SNOW STORAGE AREA, PLACE AN R8-3 "NO PARKING" SIGN AND AN INFORMATIONAL SIGN.
  - NO ON-STREET PARKING DURING SNOW EVENTS - SIGNS TO BE ADDED AS REQUIRED.

**ARCONA NEIGHBORHOOD 5 - PROPOSED PARKING SUMMARY**

PHASE	LOT / UNIT	UNIT TYPE	DESCRIPTION	# UNITS / S.F.	REQUIRED	PROPOSED
5.9.1	Commercial / Retail	COMMERCIAL / RETAIL	1 PER 200 S.F.	7,400 S.F.	37	72 (Spaces)
5.1	Townhouses - Alley Load	RESIDENTIAL (SINGLE-FAMILY ATTACHED)	2.0 PER UNIT	51 (Dwelling Units)	102	102 (Garages)
5.1	Single Detached - Street Load	RESIDENTIAL (SINGLE-FAMILY DETACHED)	2.0 PER UNIT	9 (Dwelling Units)	18	18 (Garages)
5.1	Single Detached - Alley Load	RESIDENTIAL (SINGLE-FAMILY DETACHED)	2.0 PER UNIT	10 (Dwelling Units)	20	20 (Garages)
N/A	On-Street Parking	N/A	N/A	N/A	N/A	21 (Spaces)
<b>Total</b>					<b>177</b>	<b>233</b>

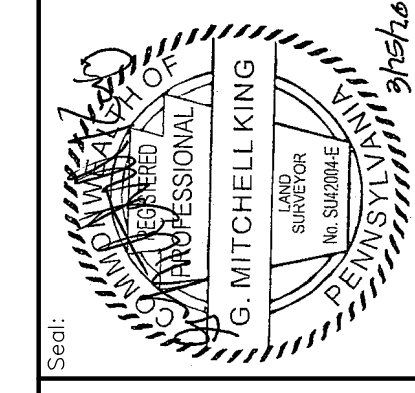
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1/19/26	REVISED FOR CH&N CHANGES

Section Number: PE-3  
 3/26/2026 3:29 PM



Sheet Number: 24 of 81  
 Project Number: 15-100-35  
 Date: DECEMBER 17, 2025  
**REMAINING ARCONA NEIGHBORHOODS**  
 Lower Allen Township - Cumberland County, PA  
 CHARTER Homes & Neighborhoods  
**PARCEL LABEL PLAN - NEIGHBORHOOD 3 - OVERALL**

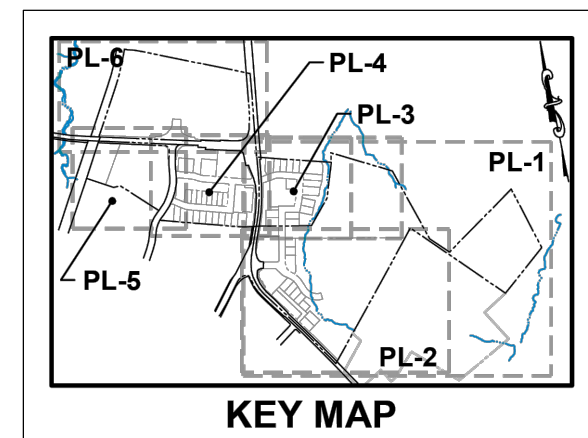
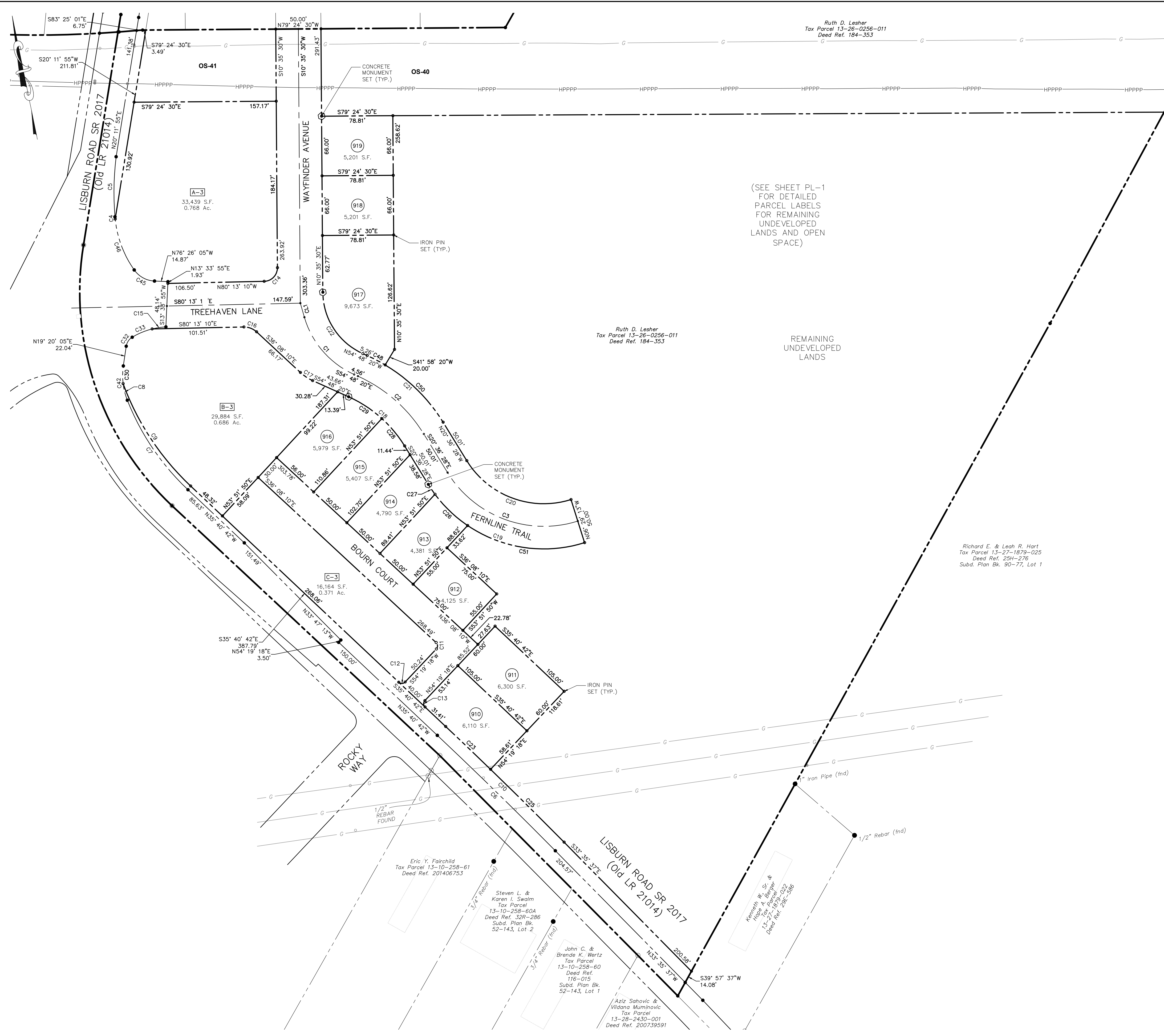
Drafting: D TURNER  
 Checked by: K POSTLETHWAIT  
 Project Engineer: G. MITCHELL KING PE, PLS  
 Project Surveyor: THOMAS K. PHILLIPS PLS  
 Scale: 1"=100'



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1/19/26	REVISED FOR CH&N CHANGES

Section Number: PL-1  
 3/26/2026 3:29 PM  
 L:\15-100-35\SHEETS\PRELIM-FINAL\24 PL-01.DWG



(SEE SHEET PL-1 FOR DETAILED PARCEL LABELS FOR REMAINING UNDEVELOPED LANDS AND OPEN SPACE)

REMAINING UNDEVELOPED LANDS

RIGHT-OF-WAY CURVE TABLE

CURVE	RADIUS	LENGTH	CHORD
C4	119.00'	2.45'	N 5°42'45" E 2.45'
C5	330.00'	66.65'	N 12°05'23" E 66.54'
C6	5016.50'	182.52'	N 34°38'10" W 182.51'
C7	275.00'	120.56'	N 23°07'08" W 119.60'
C8	74.00'	18.96'	N 31°3'08" W 18.91'
C9	295.00'	136.80'	S 22°23'33" E 135.57'
C10	5030.00'	183.01'	S 34°38'10" E 183.00'
C11	5.00'	7.89'	S 9°05'34" W 7.10'
C12	5.00'	7.85'	N 8°40'42" W 7.07'
C13	5.00'	7.85'	N 9°19'18" E 7.07'
C14	15.00'	23.35'	S 55°11'10" W 21.06'
C15	80.00'	15.49'	N 87°30'39" W 15.47'
C16	20.00'	15.39'	S 58°10'40" E 15.01'
C17	50.00'	16.29'	S 45°28'15" E 16.22'
C18	140.00'	83.56'	S 37°42'24" E 82.33'
C19	150.00'	198.65'	S 58°32'51" E 184.45'
C20	100.00'	132.43'	N 58°32'51" W 122.97'
C21	190.00'	113.40'	N 37°42'24" W 111.73'
C22	75.00'	85.60'	N 22°06'25" W 81.03'
C32	14.00'	12.34'	N 44°34'46" E 11.94'
C33	80.00'	23.90'	N 78°23'00" E 23.81'
C42	74.00'	38.61'	S 42°31'15" W 38.17'
C45	29.00'	26.47'	N 50°17'08" W 25.56'
C46	119.00'	60.77'	N 9°30'27" W 60.11'

LOT CURVE TABLE

CURVE	RADIUS	LENGTH	CHORD
C23	5030.00'	68.60'	N 35°17'15" W 68.60'
C25	5030.00'	114.42'	N 34°14'43" W 114.41'
C26	150.00'	50.24'	S 35°14'08" E 50.01'
C27	150.00'	13.18'	S 23°07'27" E 13.17'
C28	140.00'	39.44'	S 28°40'44" E 39.31'
C29	140.00'	44.12'	S 45°46'40" E 43.94'
C30	74.00'	19.65'	N 11°43'41" E 19.59'
C48	190.00'	22.48'	N 51°25'00" W 22.46'
C50	190.00'	90.93'	N 34°19'04" W 90.06'
C51	150.00'	135.24'	S 70°39'32" E 130.70'

CENTERLINE CURVE TABLE

CURVE	RADIUS	LENGTH	CHORD
C1	100.00'	86.54'	S 30°00'45" E 83.87'
C2	165.00'	98.48'	S 37°42'24" E 97.03'
C3	125.00'	165.54'	S 58°32'51" E 153.71'

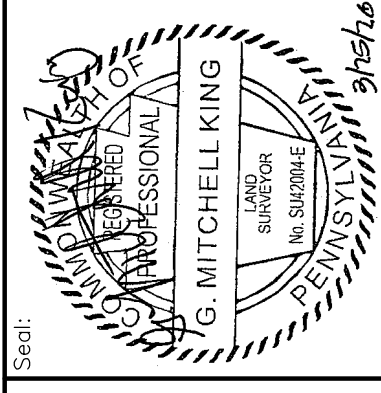
CENTERLINE LINE TABLE

LINE	LENGTH	DIRECTION
CL1	16.22'	S 51°31'10" E

Richard E. & Leah R. Hart  
Tax Parcel 13-27-1879-025  
Deed Ref. 254-276  
Subd. Plan Bk. 90-77, Lot 1

**REMAINING ARCONA NEIGHBORHOODS**  
Lower Allen Township - Cumberland County, PA  
**PARCEL LABEL PLAN - NEIGHBORHOOD 3.1**

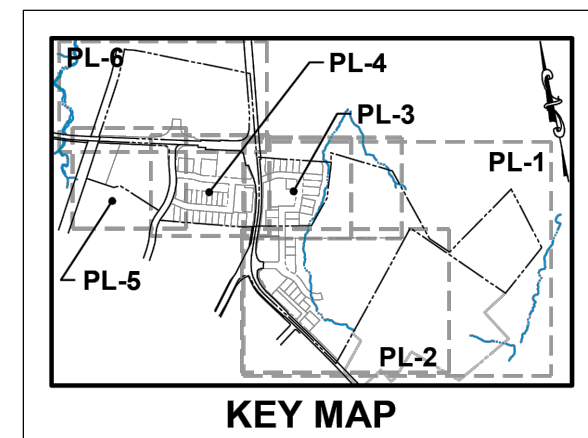
Drafting: D TURNER  
Checked by: K POSTLETHWAIT  
Project Engineer: G. MITCHELL KING PE, PLS  
Project Surveyor: THOMAS K. PHILLIPS PLS  
Scale: 1" = 50'



313 W. Liberty St., Suite 241 Lancaster, PA 17603  
**TOWNE SQUARE ENGINEERING**  
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2/24/26	UPDATE PLAN TO REMOVE NEIGHBORHOOD 7
2/10/26	ADDRESS CDDP & TMP. ENG. COMMENTS
1/19/26	REVISED FOR CHN CHANGES

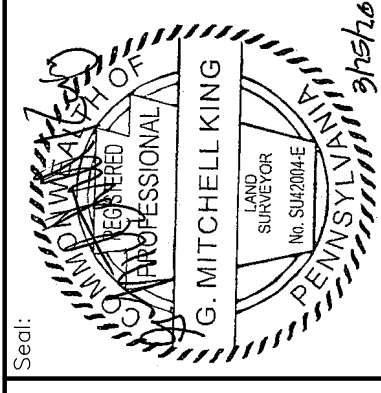




**REMAINING ARCONA NEIGHBORHOODS**  
Lower Allen Township - Cumberland County, PA  
**PARCEL LABEL PLAN - NEIGHBORHOOD 5**

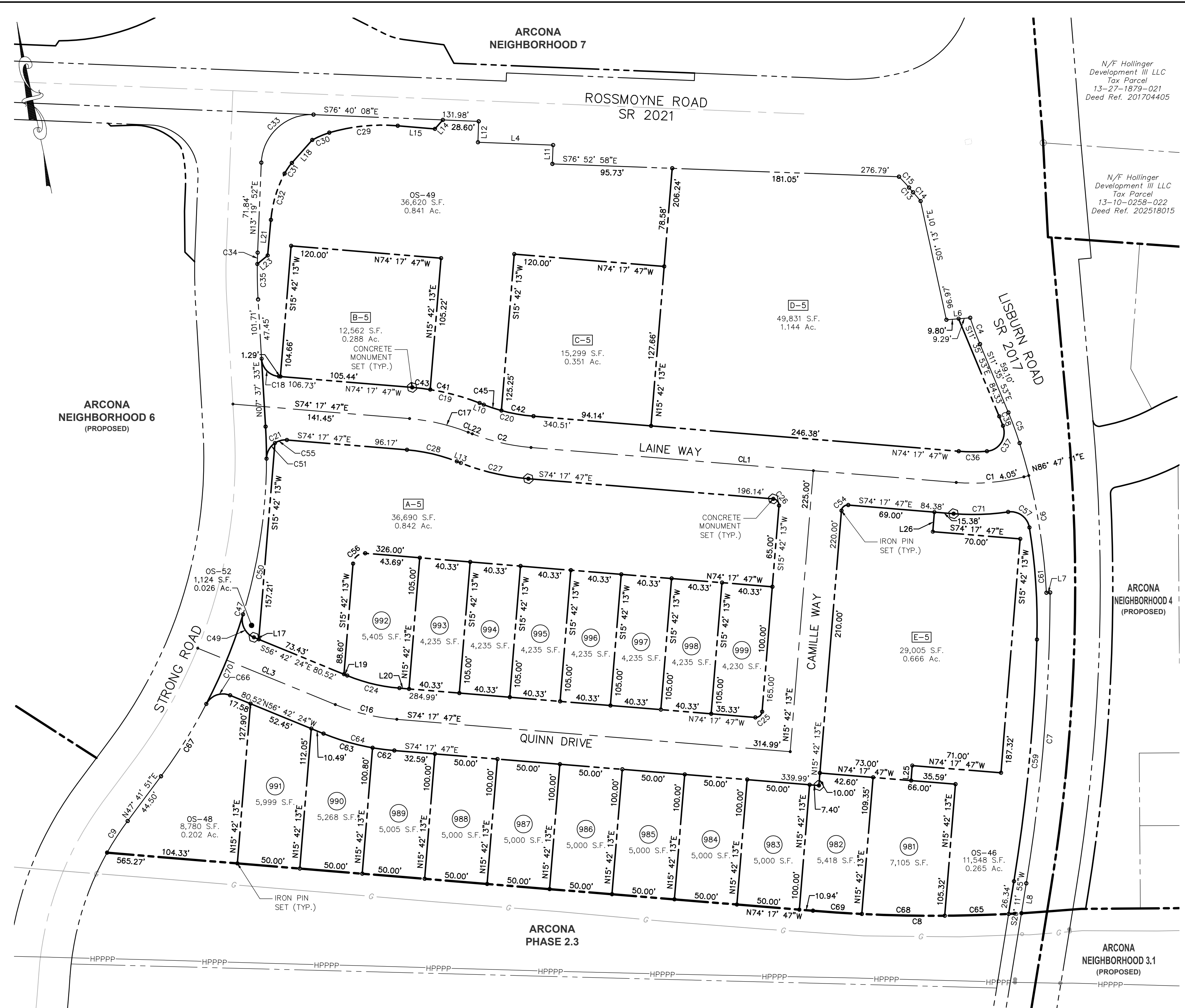
Project Manager: **DAVID B. KEGERIZE PE**  
Project Engineer: **G. MITCHELL KING PE, PLS**  
Project Surveyor: **THOMAS K. PHILLIPS PLS**

Drafting: **D TURNER**  
Checked by: **K POSTLETHWAIT**  
Scale: **1"=50'**



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RIGHT-OF-WAY CURVE TABLE

CURVE	RADIUS	LENGTH	CHORD
C4	297.00'	22.42'	S 9°26'07" E 22.41'
C5	289.00'	26.04'	S 9°01'00" E 26.03'
C6	478.00'	121.59'	S 0°51'07" W 121.27'
C7	1480.00'	233.03'	S 15°41'17" W 232.79'
C9	235.00'	30.18'	N 44°01'07" E 30.16'
C13	66.00'	4.96'	S 29°49'54" E 4.96'
C14	124.00'	9.29'	S 29°50'16" E 9.29'
C15	84.00'	11.80'	S 31°42'10" E 11.79'
C18	15.00'	21.45'	N 33°20'07" W 19.67'
C19	190.00'	55.50'	N 65°55'43" W 55.30'
C20	140.00'	40.89'	N 65°55'43" W 40.75'
C21	15.00'	24.77'	N 58°23'15" E 22.05'
C24	140.00'	42.98'	N 65°30'05" W 42.81'
C25	5.00'	7.85'	S 60°42'13" W 7.07'
C26	5.00'	7.85'	S 29°17'47" E 7.07'
C27	190.00'	55.50'	S 65°55'43" E 55.30'
C28	140.00'	40.89'	S 65°55'43" E 40.75'
C29	148.29'	55.19'	N 84°48'18" W 54.87'
C30	78.33'	14.79'	S 78°01'58" W 14.77'
C31	43.33'	10.32'	S 45°38'09" W 10.30'
C32	98.33'	38.79'	S 27°30'41" W 38.54'
C33	40.00'	62.83'	N 58°19'51" E 56.57'
C34	375.00'	9.10'	S 12°38'09" W 9.10'
C35	375.00'	28.24'	N 9°47'00" E 28.23'
C36	140.00'	22.50'	N 78°53'59" W 22.47'
C37	15.00'	27.87'	S 43°16'38" W 24.03'
C38	281.00'	8.12'	S 10°46'13" E 8.12'
C47	425.00'	297.23'	N 27°39'44" E 291.21'
C49	15.00'	22.20'	N 14°18'52" W 20.23'
C50	425.00'	126.15'	N 19°34'28" E 125.68'
C51	15.00'	14.79'	N 39°19'25" E 14.20'
C54	5.00'	7.85'	N 60°42'13" E 7.07'
C55	15.00'	9.98'	N 86°38'23" E 9.80'
C57	15.00'	23.34'	S 42°52'14" E 21.05'
C59	1470.00'	193.98'	S 16°25'06" W 193.84'
C61	470.00'	89.74'	S 71°06'06" W 89.60'
C64	190.00'	58.33'	N 65°30'05" W 58.10'
C66	15.00'	22.20'	S 80°54'05" W 20.23'
C70	425.00'	77.38'	N 33°17'36" E 77.28'
C71	190.00'	43.58'	S 80°52'05" E 43.49'

RIGHT-OF-WAY LINE TABLE

LINE	LENGTH	DIRECTION
L4	60.00'	S 76°52'58" E
L6	19.09'	S 83°50'00" E
L7	3.00'	S 81°51'38" E
L8	24.16'	S 20°11'55" W
L10	3.55'	N 57°33'38" W
L11	15.00'	S 13°07'02" W
L12	16.74'	S 13°07'02" W
L13	3.55'	S 57°33'38" E
L14	9.59'	S 52°32'25" W
L15	29.81'	N 74°10'47" W
L18	24.51'	S 52°27'36" W
L21	28.54'	S 16°12'40" W
L23	10.65'	S 61°12'40" W

LOT CURVE TABLE

CURVE	RADIUS	LENGTH	CHORD
C8	1182.50'	166.52'	N 78°19'50" W 166.38'
C41	190.00'	40.92'	N 63°43'49" W 40.84'
C42	140.00'	26.01'	N 68°58'26" W 25.97'
C43	190.00'	14.58'	S 72°05'54" E 14.58'
C45	140.00'	14.88'	N 60°36'22" W 14.88'
C56	9.00'	14.14'	N 60°42'13" E 12.73'
C62	190.00'	17.44'	N 71°40'01" W 17.43'
C63	190.00'	40.89'	S 62°52'20" E 40.81'
C65	1182.50'	51.08'	N 80°37'53" W 51.08'
C67	425.00'	68.15'	S 43°06'12" W 68.08'
C68	1182.50'	66.13'	N 77°47'30" W 66.12'
C69	1182.50'	39.07'	N 75°14'34" W 39.07'

LOT LINE TABLE

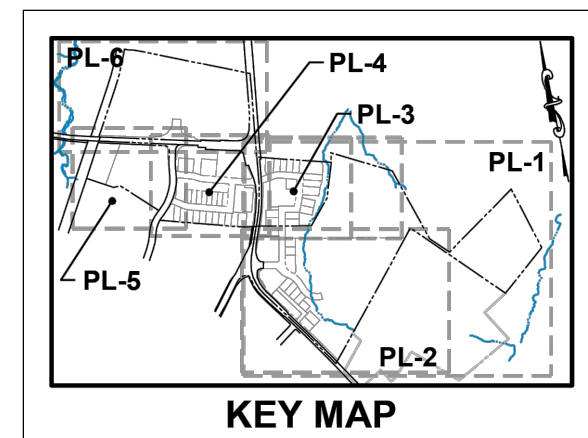
LINE	LENGTH	DIRECTION
L17	4.25'	N 56°42'24" W
L19	2.83'	N 56°42'24" W
L20	7.68'	N 74°17'47" W
L25	12.00'	S 15°42'13" W
L26	15.68'	S 15°42'13" W

CENTERLINE CURVE TABLE

CURVE	RADIUS	LENGTH	CHORD
C1	165.00'	54.48'	S 83°45'18" E 54.23'
C2	165.00'	48.20'	S 65°55'43" E 48.02'
C16	165.00'	50.65'	S 65°30'05" E 50.46'
C17	165.00'	48.20'	S 65°55'43" E 48.02'

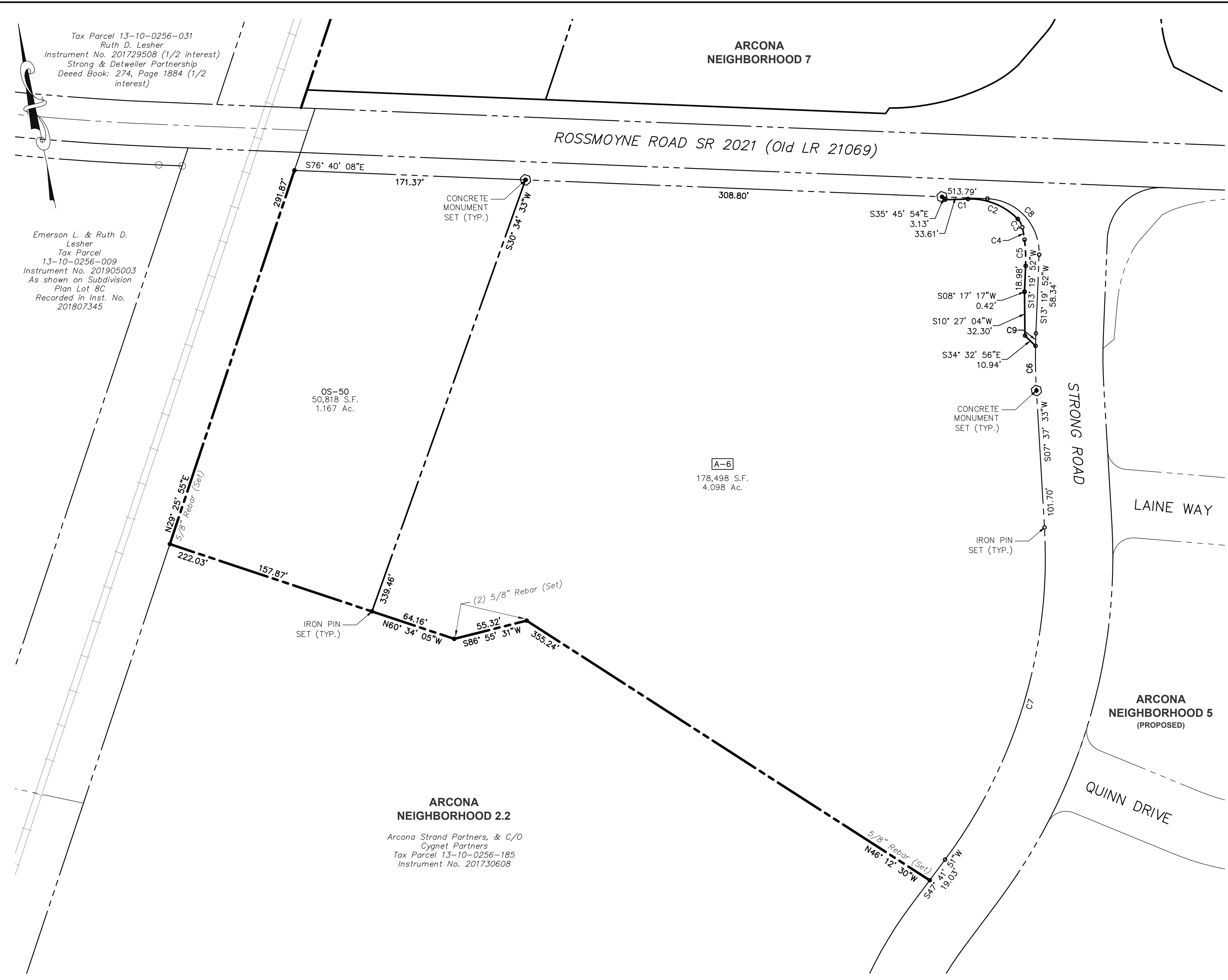
CENTERLINE LINE TABLE

LINE	LENGTH	DIRECTION
CL1	340.51'	S 74°17'47" E
CL3	118.70'	S 56°42'24" E
CL22	3.55'	S 57°33'38" E



RIGHT-OF-WAY CURVE TABLE			
CURVE	RADIUS	LENGTH	CHORD
C1	795.67'	16.96'	S 80°45'01" E 16.96'
C2	48.33'	40.97'	S 57°04'33" E 39.75'
C3	13.33'	7.06'	S 17°36'39" E 6.98'
C4	83.33'	9.32'	S 0°46'27" W 9.32'
C5	119.33'	19.48'	S 8°39'19" W 19.45'
C7	375.00'	262.27'	S 27°39'42" W 256.96'
C8	40.00'	62.83'	S 31°40'08" E 56.57'

LOT CURVE TABLE			
CURVE	RADIUS	LENGTH	CHORD
C6	425.00'	33.03'	S 9°51'08" W 33.02'
C9	425.00'	9.29'	S 12°42'17" W 9.29'



Tax Parcel 13-10-0256-031  
Ruth D. Leshar  
Instrument No. 201729508 (1/2 interest)  
Strong & Detweiler Partnership  
Deed Book: 274, Page 1884 (1/2 interest)

Emerson L. & Ruth D. Leshar  
Tax Parcel 13-10-0256-009  
Instrument No. 201905003  
As shown on Subdivision Plan Lot 80  
Recorded in Inst. No. 201807345

OS-50  
50,818 S.F.  
1.167 Ac.

N69° 29' 52"E  
7.0' Rebar (Set)

IRON PIN SET (TYP.)  
N60° 34' 05"W 64.16'  
S86° 55' 31"W 55.32'  
355.24'

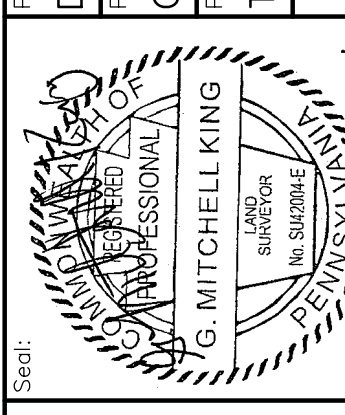
**ARCONA NEIGHBORHOOD 2.2**  
Arcona Strand Partners, & C/O  
Cygnat Partners  
Tax Parcel 13-10-0256-185  
Instrument No. 201730608

A-6  
178,498 S.F.  
4.098 Ac.

S 1/2" Rebar (Set)  
N46° 12' 30"W 19.03'

Drafting: D TURNER  
Checked by: K POSTLETHWAIT

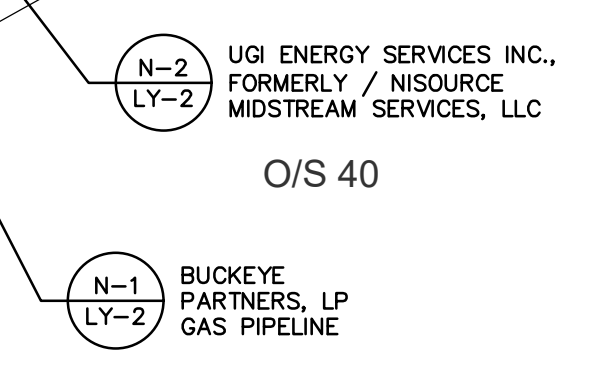
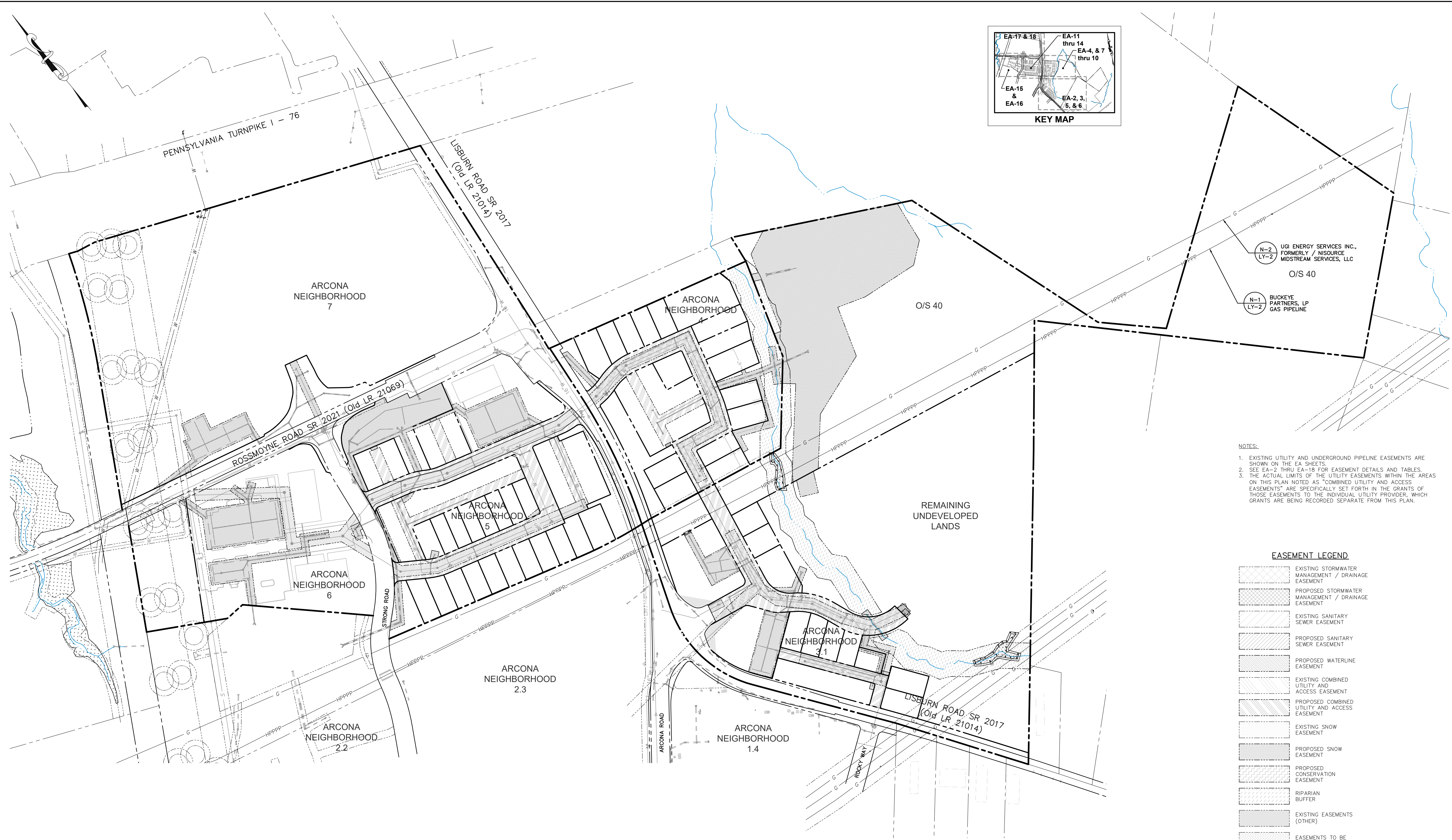
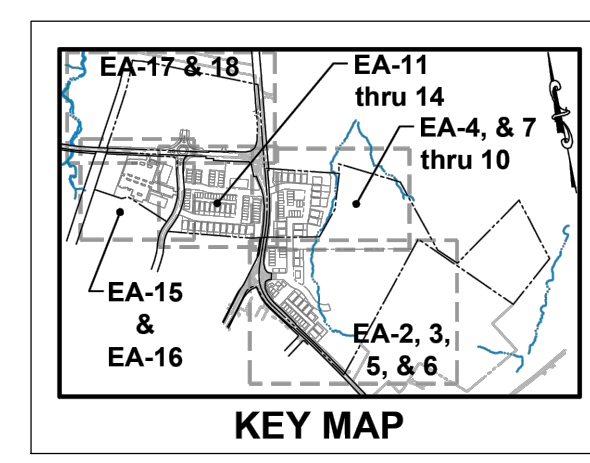
Project Manager: DAVID B. KEGERIZE PE  
Project Engineer: G. MITCHELL KING PE, PLS  
Project Surveyor: THOMAS K. PHILLIPS PLS



**TOWNE SQUARE ENGINEERING**  
Civil Engineers & Land Planners  
info@townesquareengineering.com  
313 W. Liberty St., Suite 241  
Lancaster, PA 17603  
Phone: (717) 283-4538

DATE	REVISIONS
3/27/26	ADDRESS TWP. ENG. LTR. DATED 3/19/26
2/24/26	UPDATE PLAN TO REMOVE NEIGHBORHOOD 7
2/10/26	ADDRESS CDD & TWP. ENG. COMMENTS
1/19/26	REVISED FOR CH&N CHANGES





- NOTES:
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  - SEE EA-2 THRU EA-18 FOR EASEMENT DETAILS AND TABLES.
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EASEMENT LEGEND

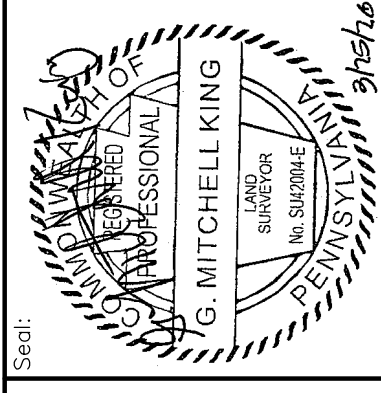
[Pattern]	EXISTING STORMWATER MANAGEMENT / DRAINAGE EASEMENT
[Pattern]	PROPOSED STORMWATER MANAGEMENT / DRAINAGE EASEMENT
[Pattern]	EXISTING SANITARY SEWER EASEMENT
[Pattern]	PROPOSED SANITARY SEWER EASEMENT
[Pattern]	PROPOSED WATERLINE EASEMENT
[Pattern]	EXISTING COMBINED UTILITY AND ACCESS EASEMENT
[Pattern]	PROPOSED COMBINED UTILITY AND ACCESS EASEMENT
[Pattern]	EXISTING SNOW EASEMENT
[Pattern]	PROPOSED SNOW EASEMENT
[Pattern]	PROPOSED CONSERVATION EASEMENT
[Pattern]	RIPARIAN BUFFER
[Pattern]	EXISTING EASEMENTS (OTHER)
[Pattern]	EASEMENTS TO BE EXTINGUISHED

REMAINING ARCONA NEIGHBORHOODS  
Lower Allen Township - Cumberland County, PA  
CHARTER Homes & Neighborhoods

Project Manager: DAVID B. KEGERIZE PE  
Project Engineer: G. MITCHELL KING PE, PLS  
Project Surveyor: THOMAS K. PHILLIPS PLS

Drafting: D TURNER  
Checked by: K POSTLETHWAIT

Scale: 1"=60'

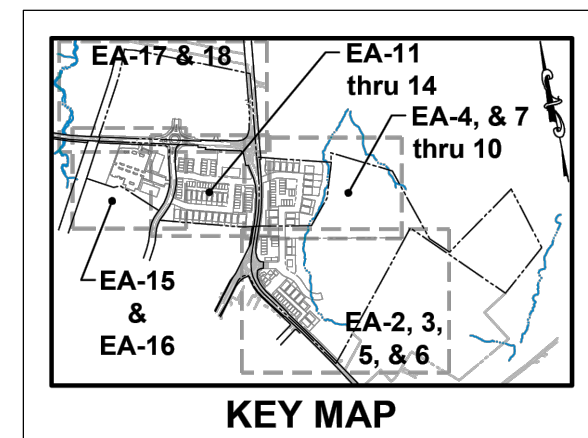
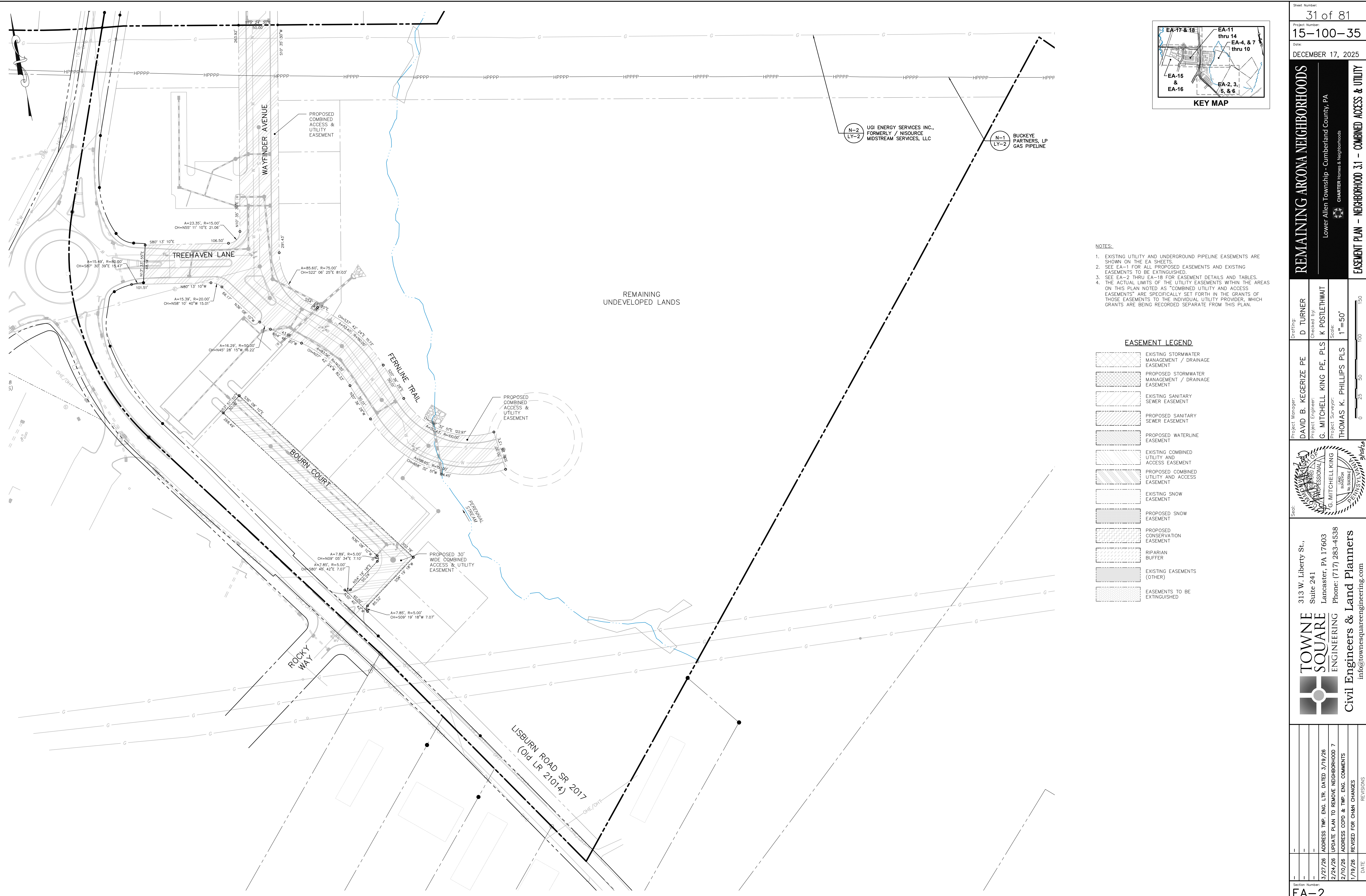


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TOWNE SQUARE ENGINEERING  
Civil Engineers & Land Planners

DATE	REVISIONS
3/27/26	ENG. LTR. DATED 3/19/26
2/24/26	UPDATE PLAN TO REMOVE NEIGHBORHOOD 7
2/10/26	ADDRESS CDD & TMP. ENG. COMMENTS
1/19/26	REVISED FOR CH&N CHANGES

Section Number:  
EA-1



N-2 LY-2 UGI ENERGY SERVICES INC., FORMERLY / NISOURCE MIDSTREAM SERVICES, LLC

N-1 LY-2 BUCKEYE PARTNERS, LP GAS PIPELINE

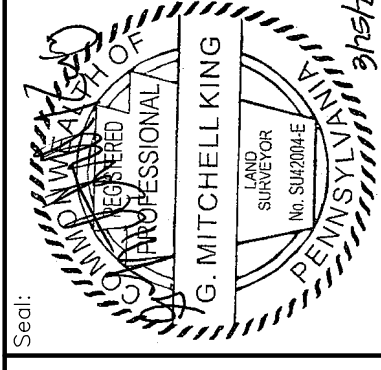
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- PROPOSED SANITARY SEWER EASEMENT
- PROPOSED WATERLINE EASEMENT
- EXISTING COMBINED UTILITY AND ACCESS EASEMENT
- PROPOSED COMBINED UTILITY AND ACCESS EASEMENT
- EXISTING SNOW EASEMENT
- PROPOSED SNOW EASEMENT
- PROPOSED CONSERVATION EASEMENT
- RIPARIAN BUFFER
- EXISTING EASEMENTS (OTHER)
- EASEMENTS TO BE EXTINGUISHED

Sheet Number: 31 of 81  
 Project Number: 15-100-35  
 Date: DECEMBER 17, 2025  
**REMAINING ARCONA NEIGHBORHOODS**  
 Lower Allen Township - Cumberland County, PA  
**EASEMENT PLAN - NEIGHBORHOOD 3.1 - COMBINED ACCESS & UTILITY**

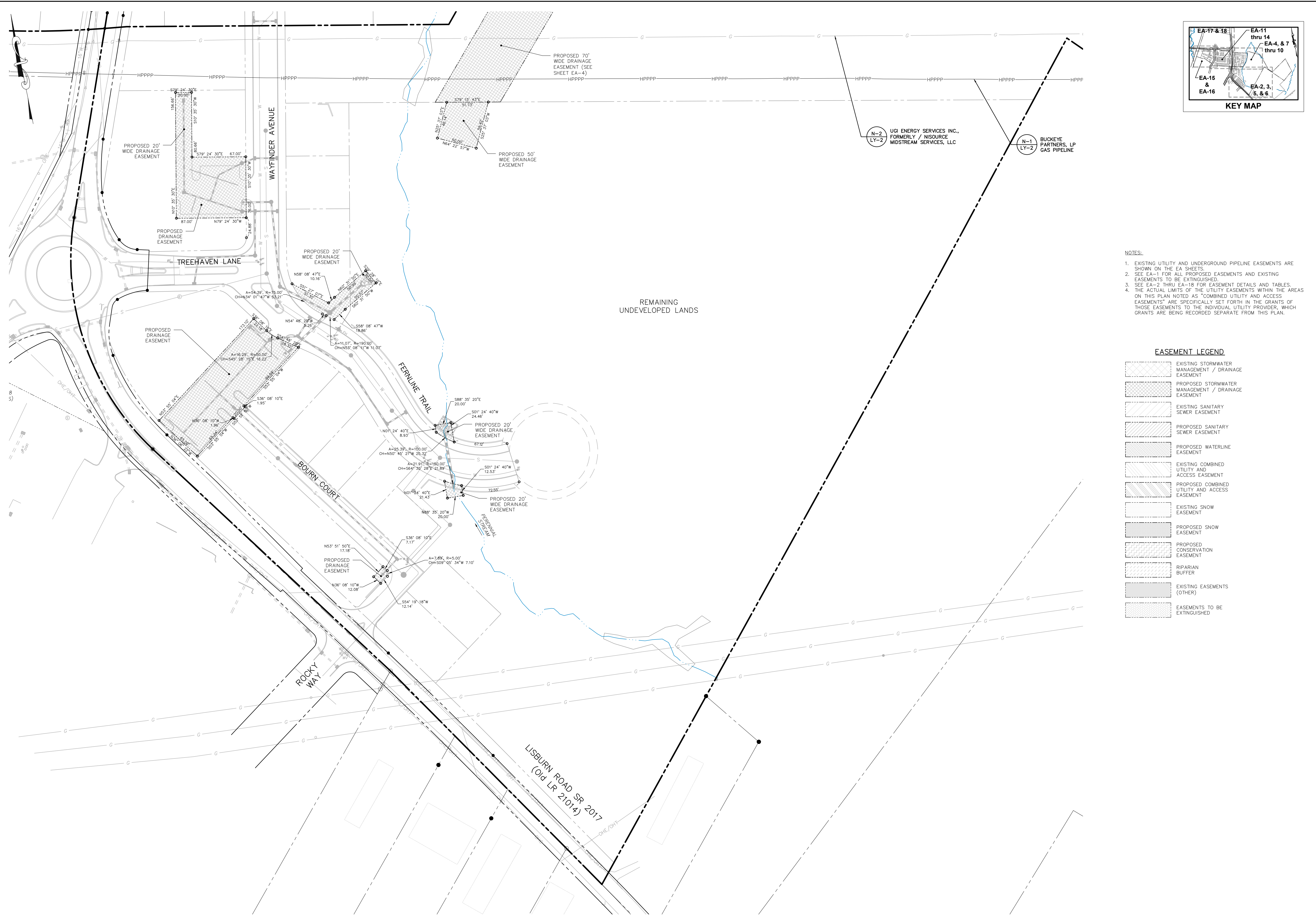
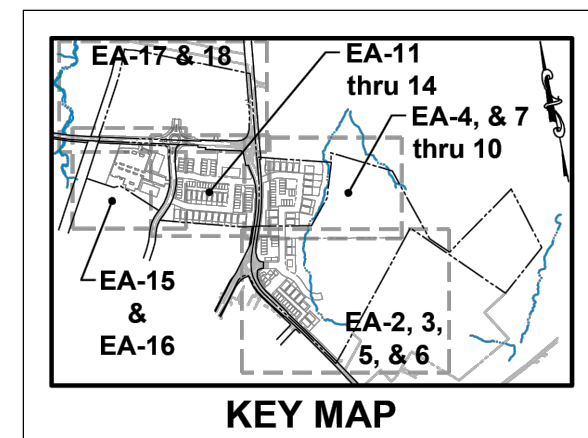
Drafting: D TURNER  
 Checked by: K POSTLETHWAIT  
 Project Engineer: G. MITCHELL KING PE, PLS  
 Project Surveyor: THOMAS K. PHILLIPS PLS  
 Scale: 1" = 50'



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 Lancaster, PA 17603  
 Phone: (717) 283-4538  
**TOWNE SQUARE ENGINEERING**  
**Civil Engineers & Land Planners**  
 info@townesquareengineering.com

DATE	REVISIONS
3/27/26	3/27/26
2/24/26	2/24/26
2/10/26	2/10/26
1/19/26	1/19/26

Section Number: EA-2



- NOTES:
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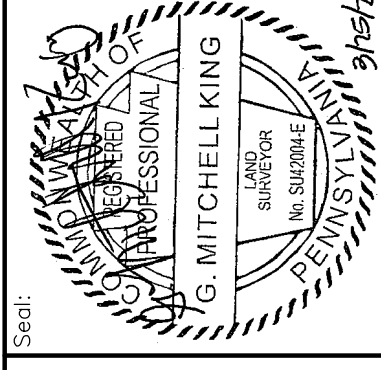
**EASEMENT LEGEND**

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[Pattern]	PROPOSED STORMWATER MANAGEMENT / DRAINAGE EASEMENT
[Pattern]	EXISTING SANITARY SEWER EASEMENT
[Pattern]	PROPOSED SANITARY SEWER EASEMENT
[Pattern]	PROPOSED WATERLINE EASEMENT
[Pattern]	EXISTING COMBINED UTILITY AND ACCESS EASEMENT
[Pattern]	PROPOSED COMBINED UTILITY AND ACCESS EASEMENT
[Pattern]	EXISTING SNOW EASEMENT
[Pattern]	PROPOSED SNOW EASEMENT
[Pattern]	PROPOSED CONSERVATION EASEMENT
[Pattern]	RIPARIAN BUFFER
[Pattern]	EXISTING EASEMENTS (OTHER)
[Pattern]	EASEMENTS TO BE EXTINGUISHED

**REMAINING ARCONA NEIGHBORHOODS**  
Lower Allen Township - Cumberland County, PA  
CHARTER Homes & Neighborhoods

**EASEMENT PLAN - NEIGHBORHOOD 3.1 - STORM DRAINAGE**

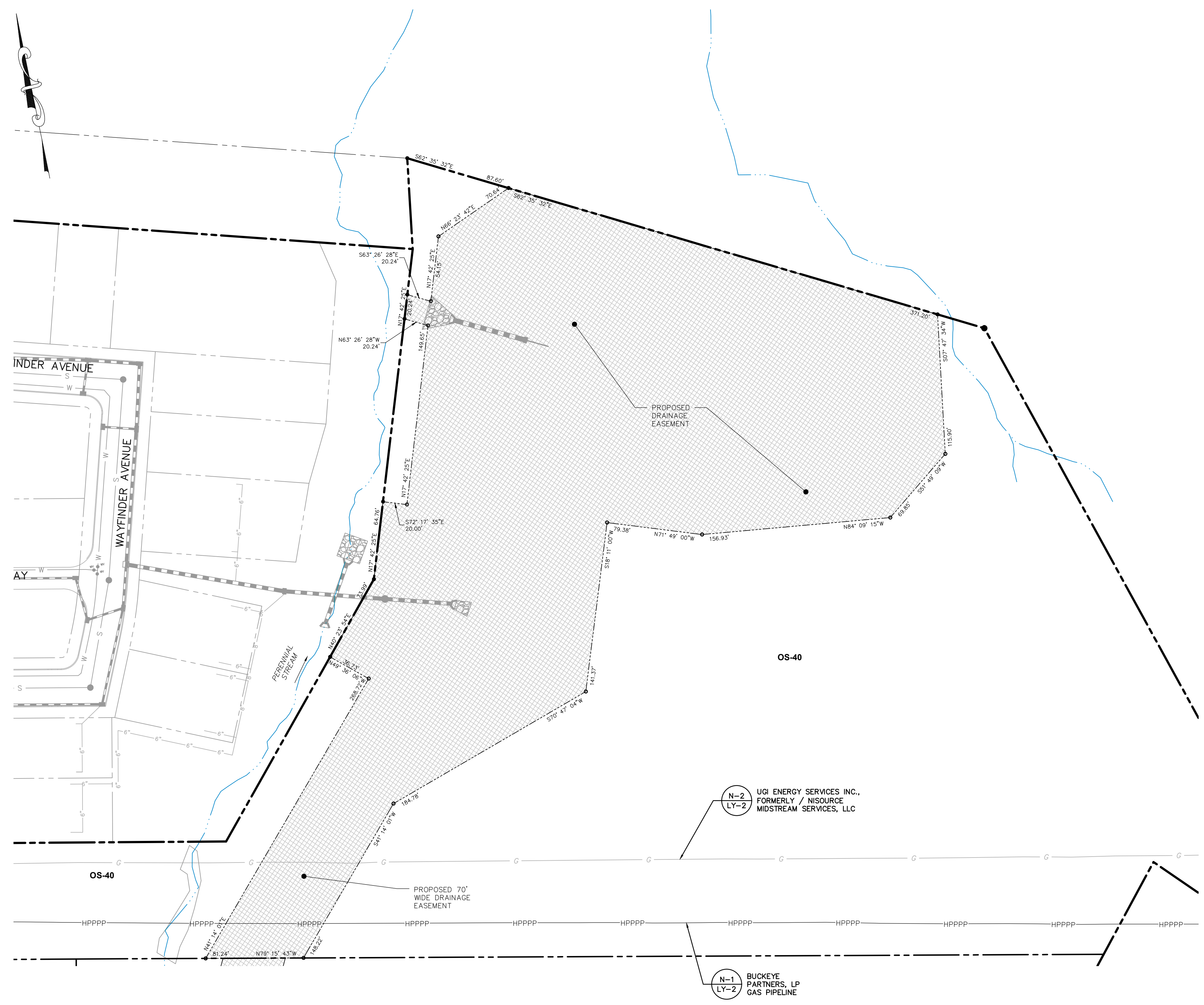
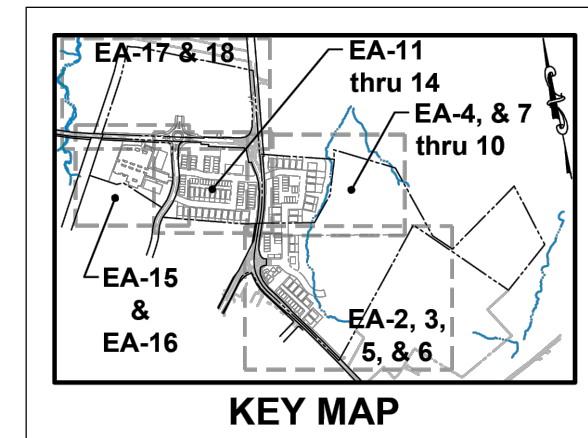
Drafting: D TURNER  
Checked by: K POSTLETHWAIT  
Project Engineer: G MITCHELL KING PE, PLS  
Project Surveyor: THOMAS K. PHILLIPS PLS  
Scale: 1" = 50'



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**TOWNE SQUARE ENGINEERING**  
Civil Engineers & Land Planners

DATE	REVISIONS
3/27/26	ENG. LTR. DATED 3/19/26
2/24/26	UPDATE PLAN TO REMOVE NEIGHBORHOOD 7
2/10/26	ADDRESS CDD & TMP. ENG. COMMENTS
1/19/26	REVISED FOR CH&N CHANGES



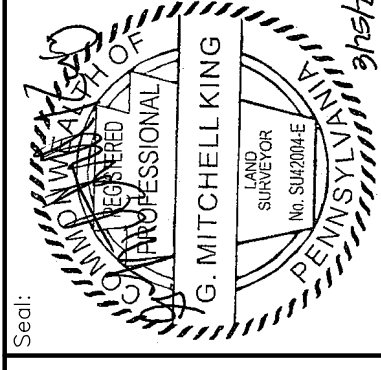
**EASEMENT LEGEND**

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[Diagonal hatch pattern]	PROPOSED STORMWATER MANAGEMENT / DRAINAGE EASEMENT
[Horizontal hatch pattern]	EXISTING SANITARY SEWER EASEMENT
[Vertical hatch pattern]	PROPOSED SANITARY SEWER EASEMENT
[Dotted pattern]	PROPOSED WATERLINE EASEMENT
[Diagonal hatch pattern]	EXISTING COMBINED UTILITY AND ACCESS EASEMENT
[Diagonal hatch pattern]	PROPOSED COMBINED UTILITY AND ACCESS EASEMENT
[Horizontal hatch pattern]	EXISTING SNOW EASEMENT
[Vertical hatch pattern]	PROPOSED SNOW EASEMENT
[Dotted pattern]	PROPOSED CONSERVATION EASEMENT
[Horizontal hatch pattern]	RIPARIAN BUFFER
[Diagonal hatch pattern]	EXISTING EASEMENTS (OTHER)
[Diagonal hatch pattern]	EASEMENTS TO BE EXTINGUISHED

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**REMAINING ARCONA NEIGHBORHOODS**  
Lower Allen Township - Cumberland County, PA  
CHARTER Homes & Neighborhoods

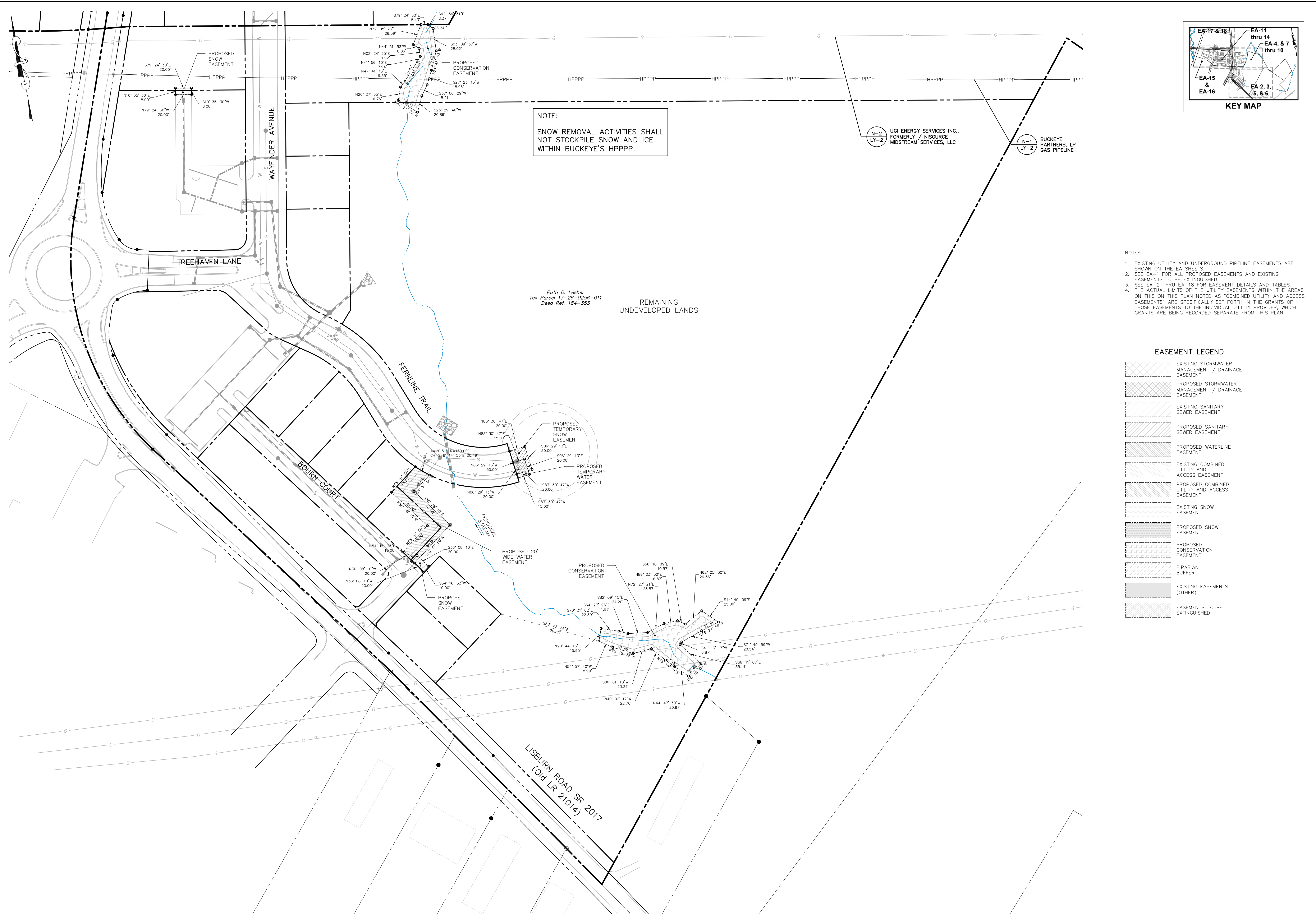
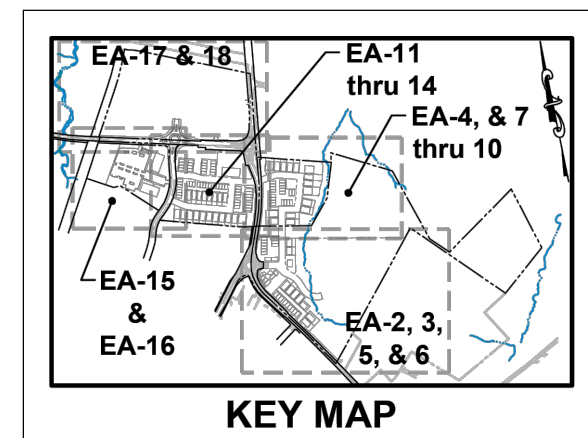
Drafting: D TURNER  
Checked by: K POSTLETHWAIT  
Project Engineer: G. MITCHELL KING PE, PLS  
Project Surveyor: THOMAS K. PHILLIPS PLS  
Scale: 1"=50'



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**TOWNE SQUARE ENGINEERING**  
Civil Engineers & Land Planners

DATE	REVISIONS
3/27/26	3/27/26 TWP. ENG. LTR. DATED 3/19/26
2/24/26	2/24/26 UPDATE PLAN TO REMOVE NEIGHBORHOOD 7
2/10/26	2/10/26 ADDRESS CDD & TWP. ENG. COMMENTS
1/19/26	1/19/26 REVISED FOR CH&N CHANGES



NOTE:  
SNOW REMOVAL ACTIVITIES SHALL NOT STOCKPILE SNOW AND ICE WITHIN BUCKEYE'S HPPPP.

Ruth D. Leshor  
Tax Parcel 13-28-0256-011  
Deed Ref. 184-353

REMAINING UNDEVELOPED LANDS

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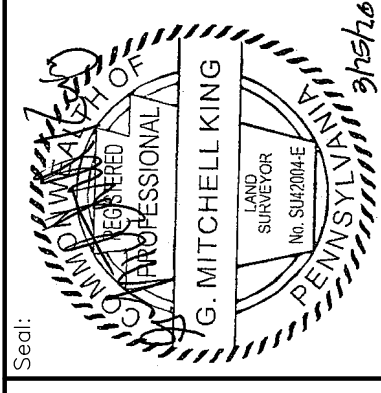
EASEMENT LEGEND

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**REMAINING ARCONA NEIGHBORHOODS**  
 Lower Allen Township - Cumberland County, PA  
 CHARTER Homes & Neighborhoods

**EASEMENT PLAN - NEIGHBORHOOD 3.1 - WATER, SNOW & CONSERVATION**

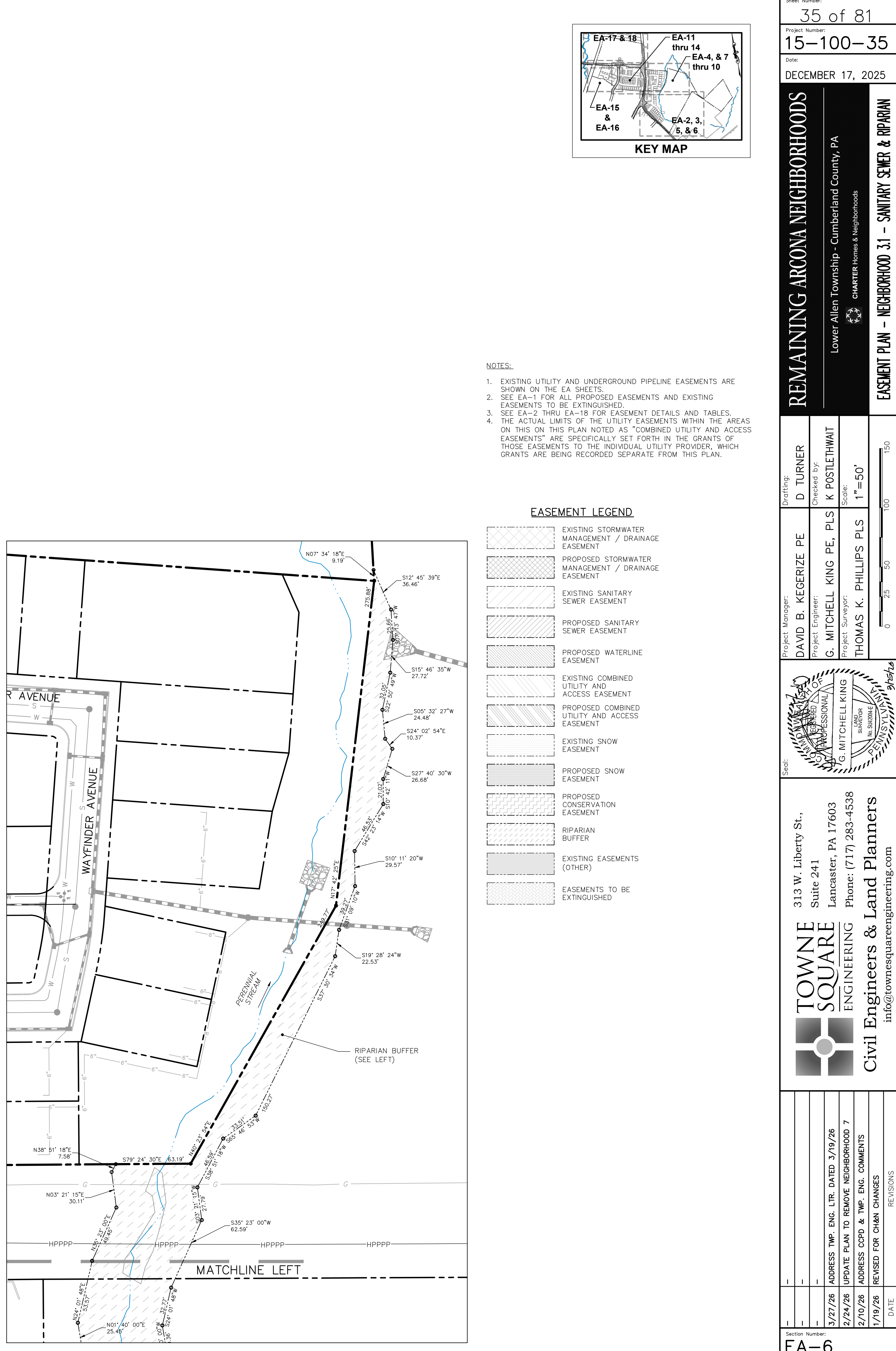
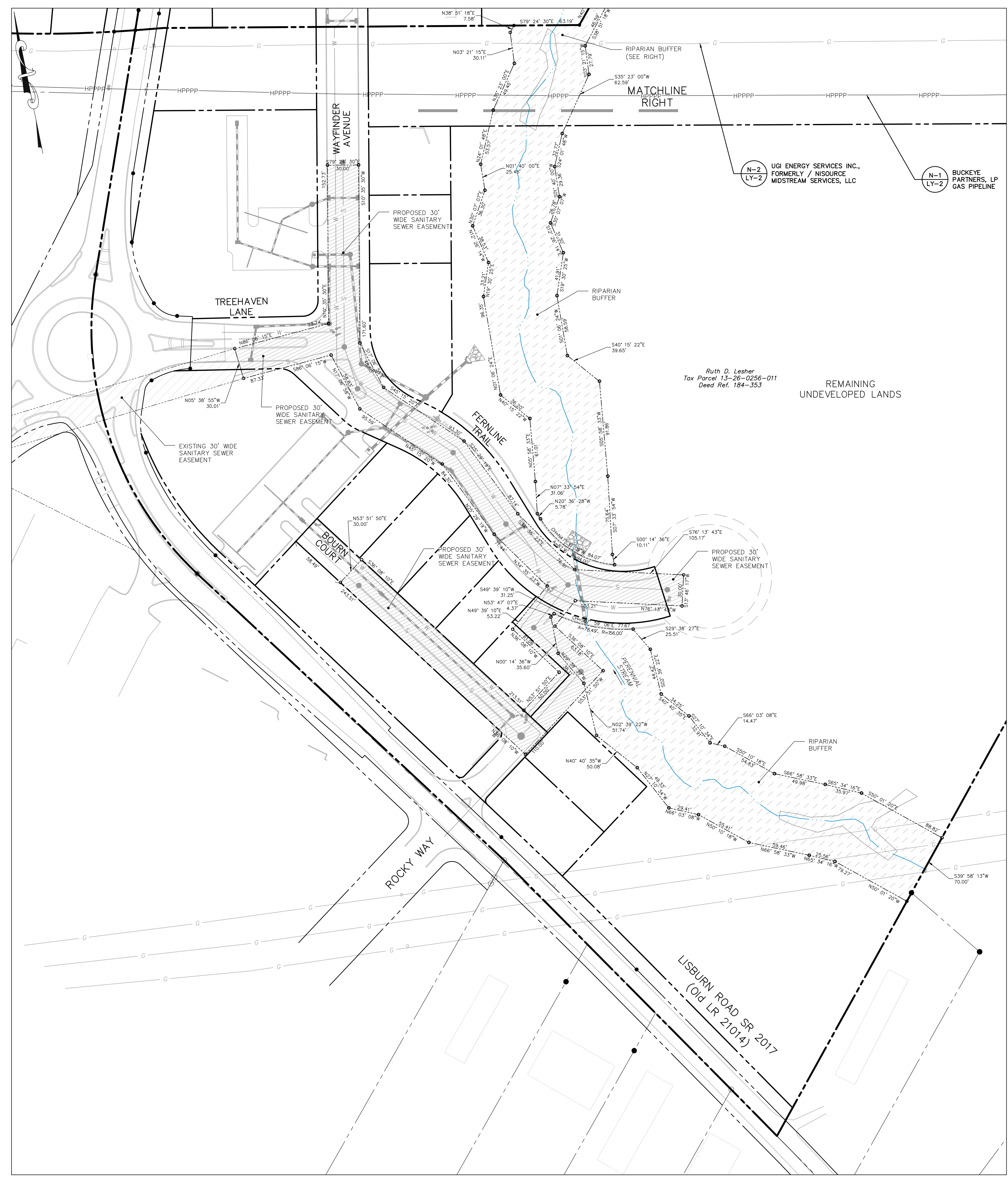
Drafting: D TURNER  
 Checked by: K POSTLETHWAIT  
 Project Engineer: G. MITCHELL KING PE, PLS  
 Project Surveyor: THOMAS K. PHILLIPS PLS  
 Scale: 1" = 50'



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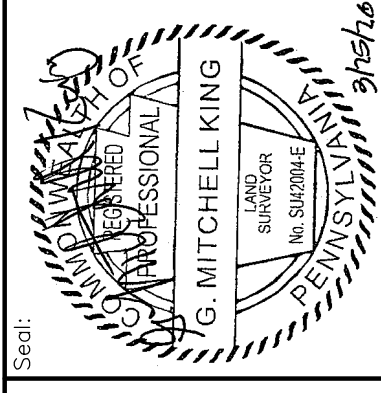
**TOWNE SQUARE ENGINEERING**  
**Civil Engineers & Land Planners**

DATE	REVISIONS
3/27/26	ADDRESS TMP. ENG. LTR. DATED 3/19/26
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2/10/26	ADDRESS CDD & TMP. ENG. COMMENTS
1/19/26	REVISED FOR CH&N CHANGES



**REMAINING ARCONA NEIGHBORHOODS**  
Lower Allen Township - Cumberland County, PA  
CHARTER Homes & Neighborhoods

Drafting: D TURNER  
Checked by: K POSTLETHWAIT  
Project Engineer: G. MITCHELL KING PE, PLS  
Project Surveyor: THOMAS K. PHILLIPS PLS  
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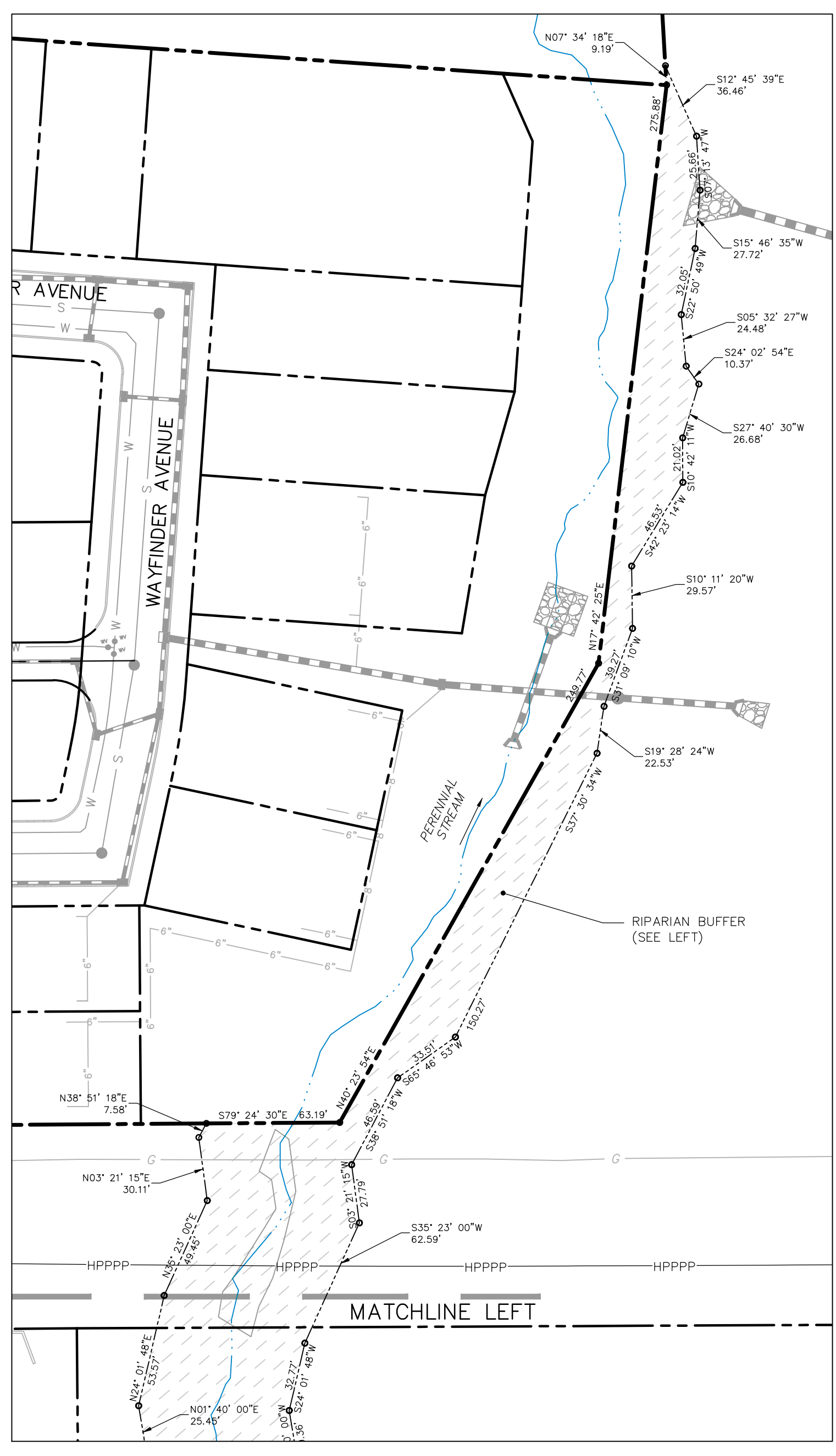
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Civil Engineers & Land Planners

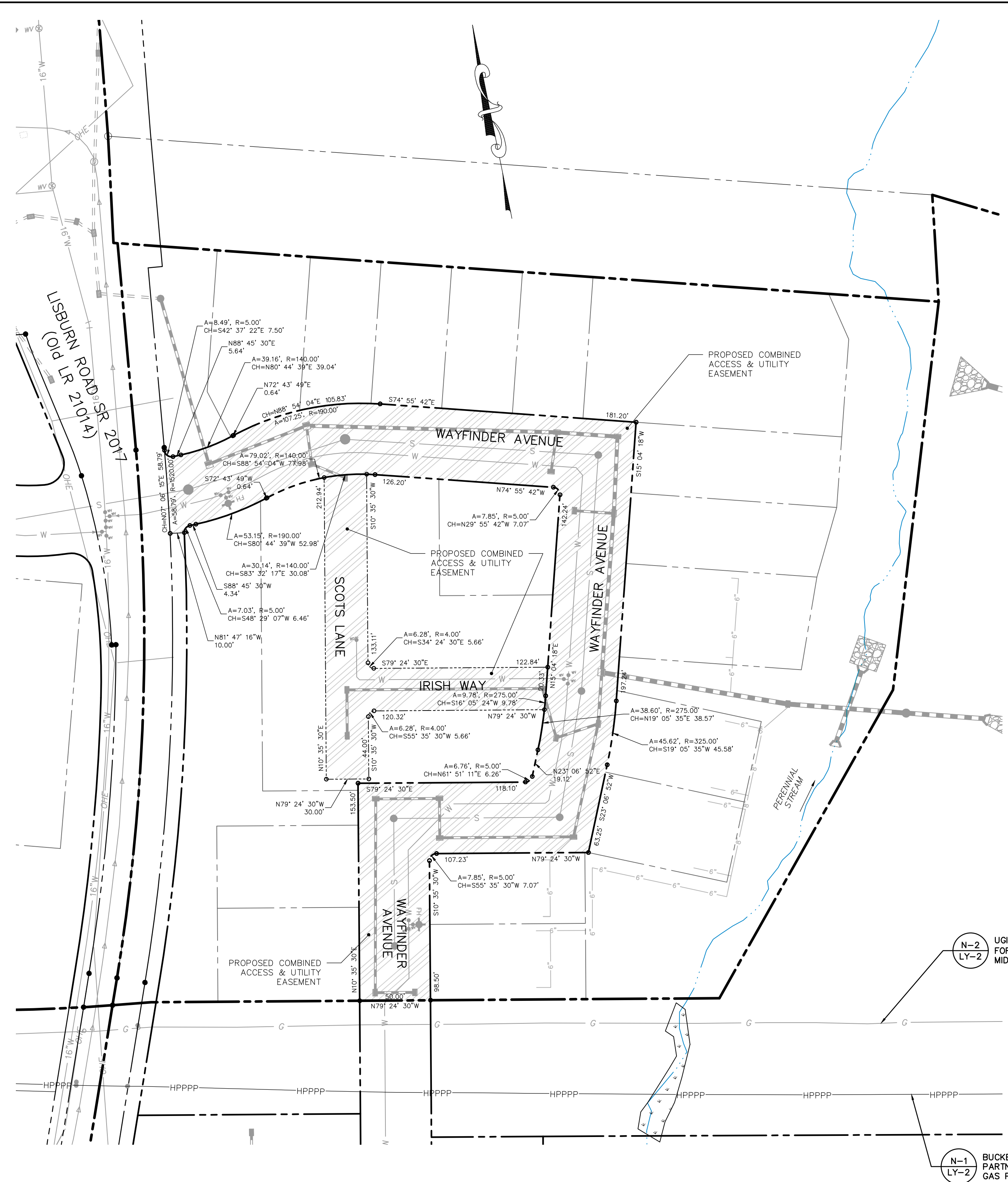
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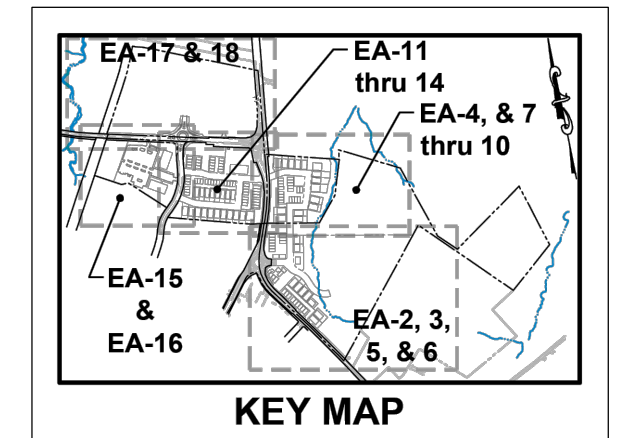
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- PROPOSED CONSERVATION EASEMENT
- RIPARIAN BUFFER
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N-2  
LY-2 UGI ENERGY SERVICES INC.,  
FORMERLY / NISOURCE  
MIDSTREAM SERVICES, LLC

N-1  
LY-2 BUCKEYE  
PARTNERS, LP  
GAS PIPELINE



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	PROPOSED SNOW EASEMENT
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Sheet Number: 36 of 81  
 Project Number: 15-100-35  
 Date: DECEMBER 17, 2025

**REMAINING ARCONA NEIGHBORHOODS**  
 Lower Allen Township - Cumberland County, PA  
**EASEMENT PLAN - NEIGHBORHOOD 4 - COMBINED ACCESS & UTILITY**

Project Manager: DAVID B. KEGERIZE PE  
 Project Engineer: G. MITCHELL KING PE, PLS  
 Project Surveyor: THOMAS K. PHILLIPS PLS

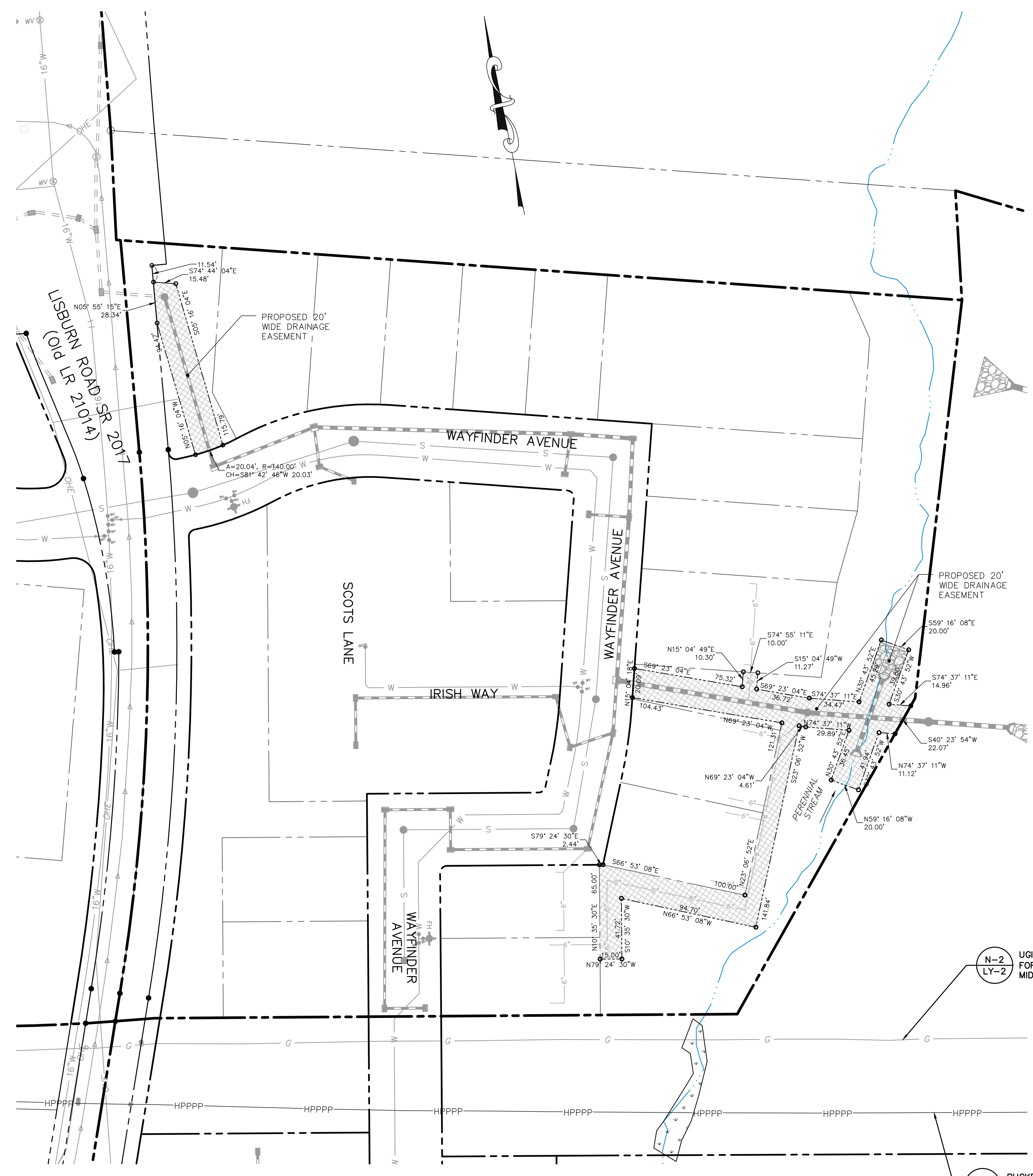
Drafting: D TURNER  
 Checked by: K POSTLETHWAIT  
 Scale: 1" = 50'

Seal: G. MITCHELL KING  
 Professional Engineer  
 No. 1000000000

313 W. Liberty St., Suite 241 Lancaster, PA 17603  
**TOWNE SQUARE ENGINEERING**  
 Phone: (717) 283-4538  
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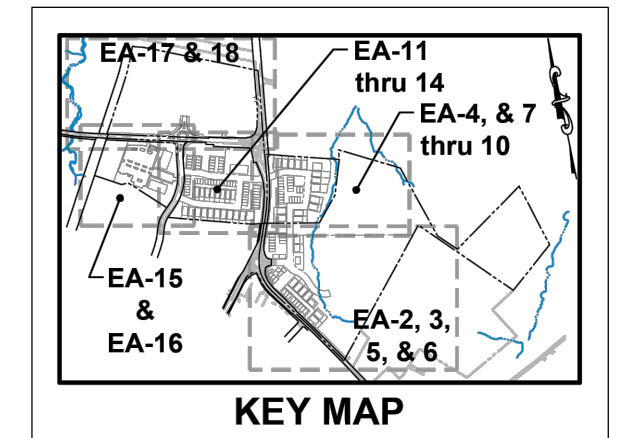
DATE	REVISIONS
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2/24/26	2/24/26 ADDRESS PLAN TO REMOVE NEIGHBORHOOD 7
2/10/26	2/10/26 ADDRESS CDDP & TWP. ENG. COMMENTS
1/19/26	1/19/26 REVISED FOR CH&N CHANGES

Section Number: EA-7  
 3/26/2026 3:23 PM  
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N-2  
LY-2 UGI ENERGY SERVICES INC.,  
FORMERLY / NISOURCE  
MIDSTREAM SERVICES, LLC

N-1  
LY-2 BUCKEYE  
PARTNERS, LP  
GAS PIPELINE



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Sheet Number: 37 of 81  
 Project Number: 15-100-35  
 Date: DECEMBER 17, 2025

**REMAINING ARCONA NEIGHBORHOODS**  
 Lower Allen Township - Cumberland County, PA  
 CHARTER Homes & Neighborhoods

**EASEMENT PLAN - NEIGHBORHOOD 4 - STORM DRAINAGE**

Project Manager: DAVID B. KEGERIZE PE  
 Project Engineer: G. MITCHELL KING PE, PLS  
 Project Surveyor: THOMAS K. PHILLIPS PLS

Drafting: D TURNER  
 Checked by: K POSTLETHWAIT

Scale: 1" = 50'

Seal: [Professional Engineer Seal for G. MITCHELL KING]

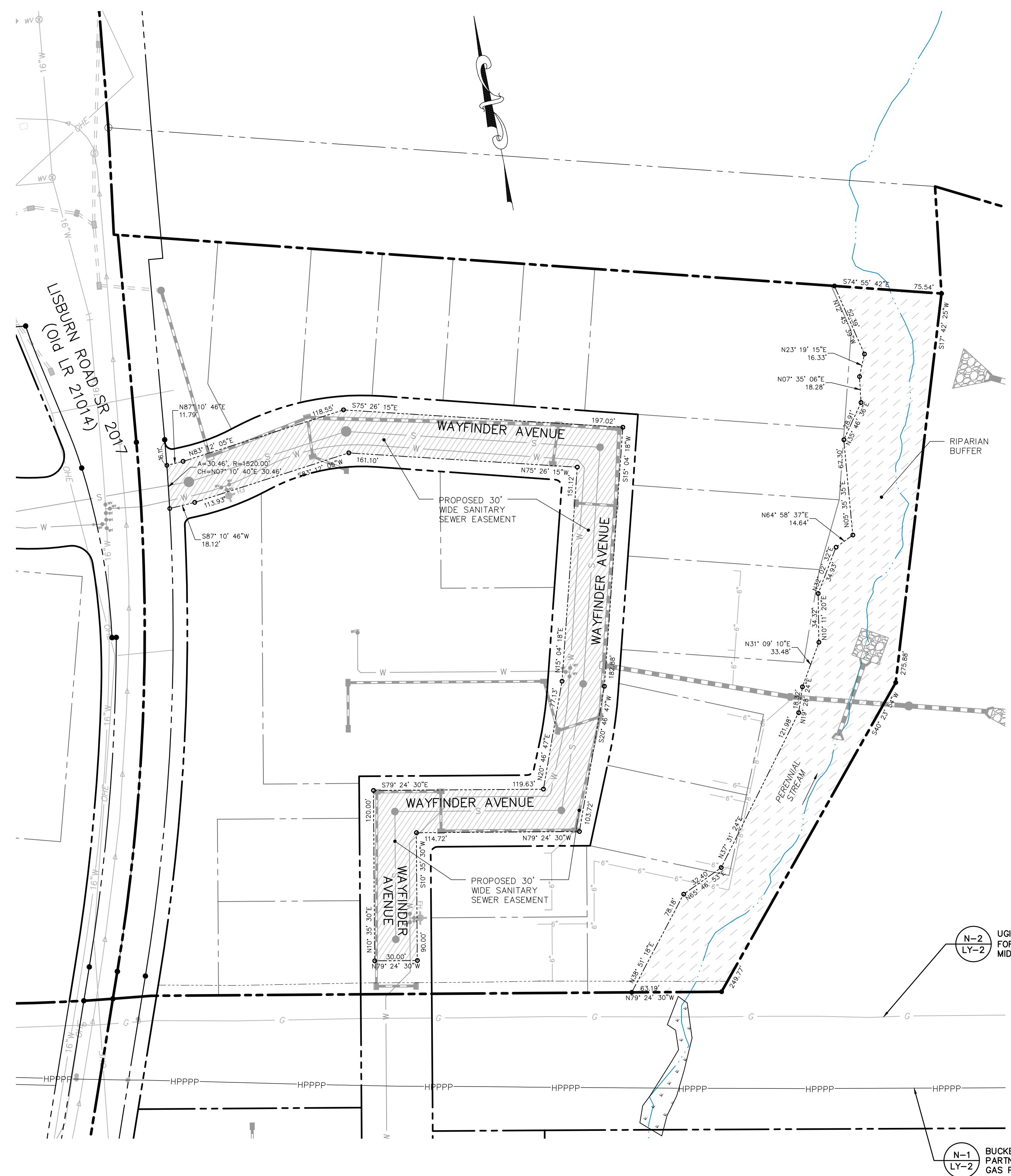
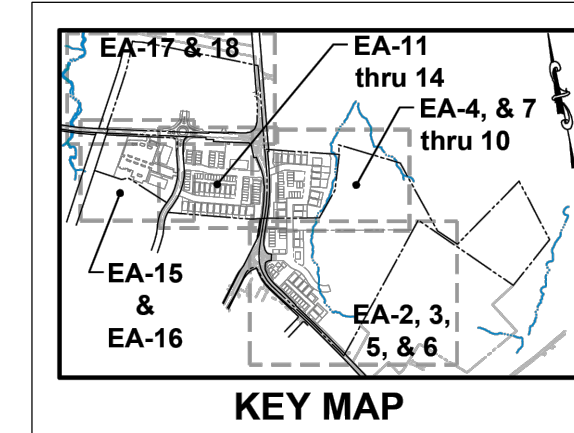
313 W. Liberty St., Suite 241 Lancaster, PA 17603  
**TOWNE SQUARE ENGINEERING**  
 Civil Engineers & Land Planners  
 info@townesquareengineering.com

DATE	REVISIONS
3/27/26	ADDRESS TWP. ENG. LTR. DATED 3/19/26
2/24/26	UPDATE PLAN TO REMOVE NEIGHBORHOOD 7
2/10/26	ADDRESS CDD & TWP. ENG. COMMENTS
1/19/26	REVISED FOR CH&N CHANGES

Section Number: EA-8

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N-2 UGI ENERGY SERVICES INC., FORMERLY / NISOURCE MIDSTREAM SERVICES, LLC

N-1 BUCKEYE PARTNERS, LP GAS PIPELINE

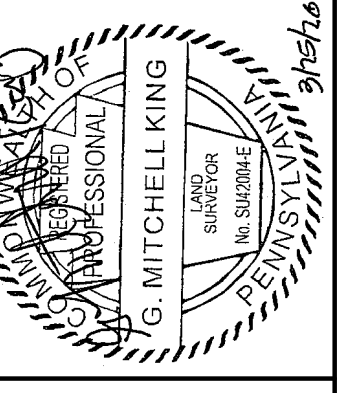
- NOTES:
- EXISTING UTILITY AND UNDERGROUND PIPELINE EASEMENTS ARE SHOWN ON THE EA SHEETS.
  - SEE EA-1 FOR ALL PROPOSED EASEMENTS AND EXISTING EASEMENTS TO BE EXTINGUISHED.
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EASEMENT LEGEND

- EXISTING STORMWATER MANAGEMENT / DRAINAGE EASEMENT
- PROPOSED STORMWATER MANAGEMENT / DRAINAGE EASEMENT
- EXISTING SANITARY SEWER EASEMENT
- PROPOSED SANITARY SEWER EASEMENT
- PROPOSED WATERLINE EASEMENT
- EXISTING COMBINED UTILITY AND ACCESS EASEMENT
- PROPOSED COMBINED UTILITY AND ACCESS EASEMENT
- EXISTING SNOW EASEMENT
- PROPOSED SNOW EASEMENT
- PROPOSED CONSERVATION EASEMENT
- RIPARIAN BUFFER
- EXISTING EASEMENTS (OTHER)
- EASEMENTS TO BE EXTINGUISHED

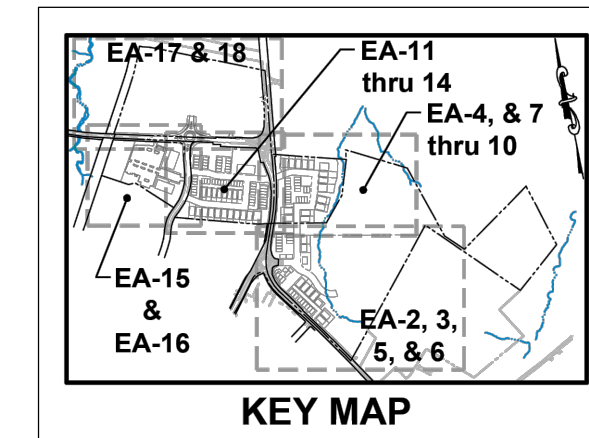
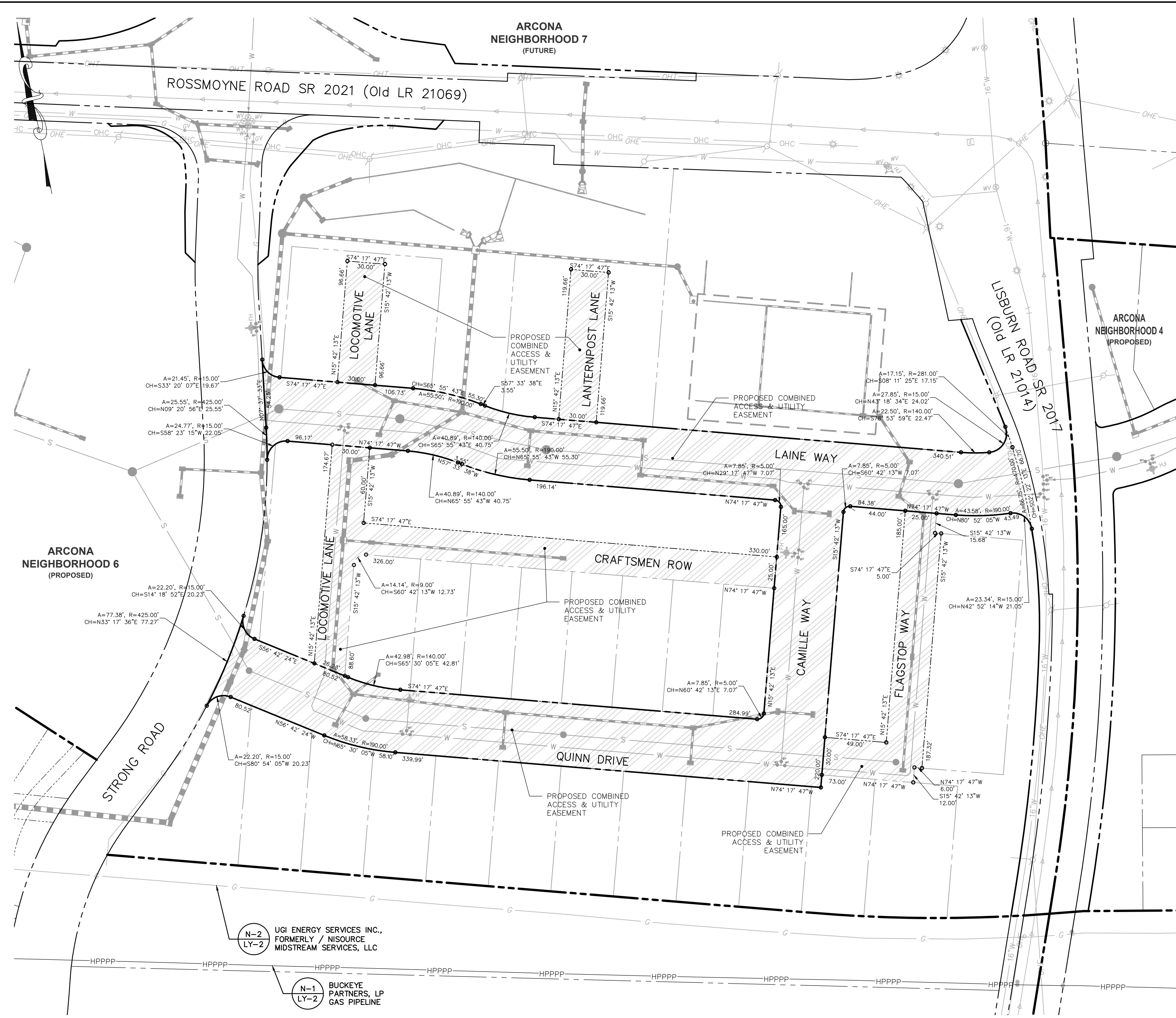
**REMAINING ARCONA NEIGHBORHOODS**  
 Lower Allen Township - Cumberland County, PA  
**EASEMENT PLAN - NEIGHBORHOOD 4 - SANITARY SEWER & RIPARIAN**

Drafting: D TURNER  
 Checked by: K POSTLETHWAIT  
 Project Engineer: G. MITCHELL KING PE, PLS  
 Project Surveyor: THOMAS K. PHILLIPS PLS  
 Scale: 1" = 50'

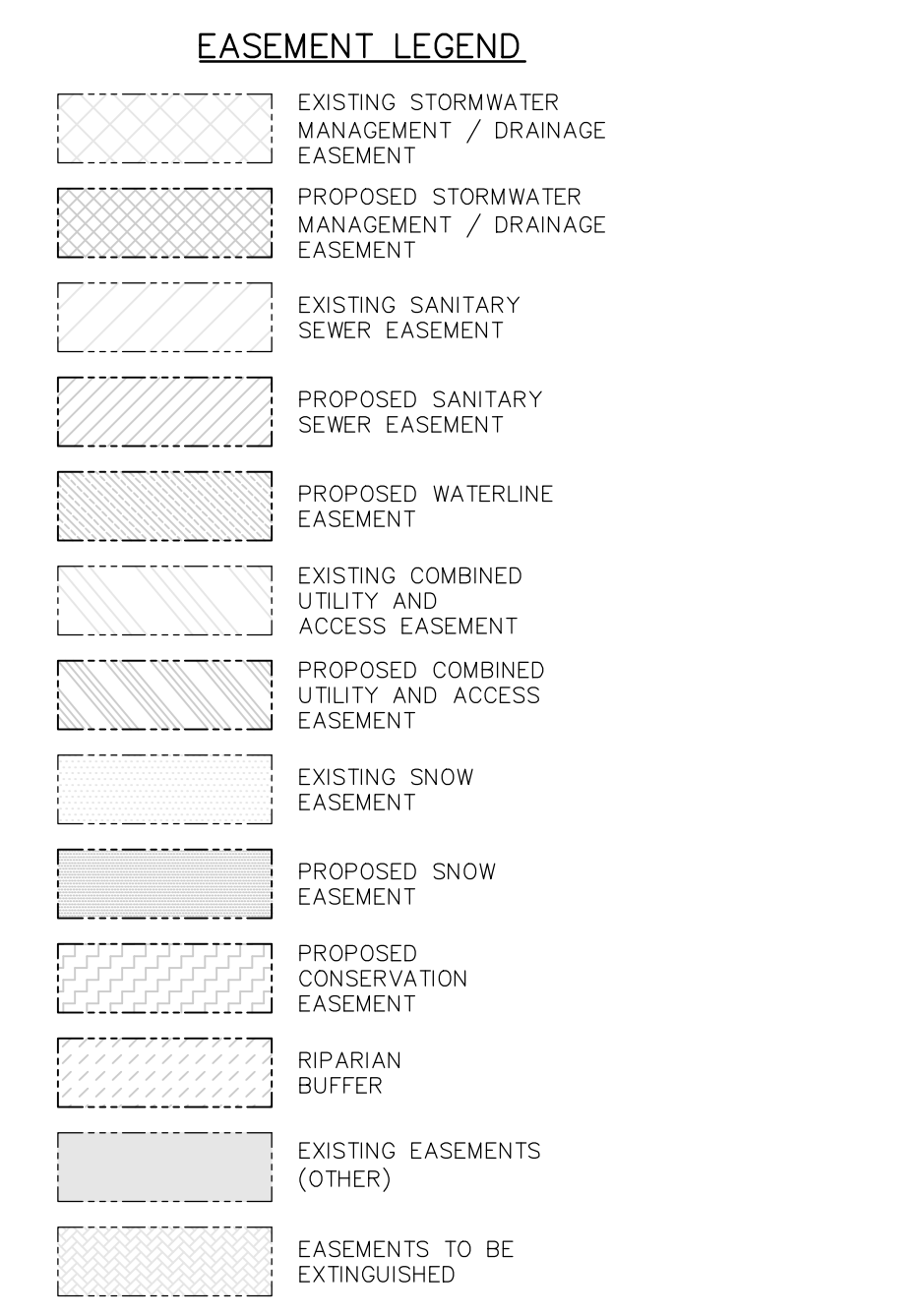


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**TOWNE SQUARE ENGINEERING**  
**Civil Engineers & Land Planners**  
 info@townesquareengineering.com

DATE	REVISIONS
3/27/26	ADDRESS TWP. ENG. LTR. DATED 3/19/26
2/24/26	UPDATE PLAN TO REMOVE NEIGHBORHOOD 7
2/10/26	ADDRESS CCPD & TWP. ENG. COMMENTS
1/19/26	REVISED FOR CH&N CHANGES



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Sheet Number: 40 of 81  
 Project Number: 15-100-35  
 Date: DECEMBER 17, 2025

**REMAINING ARCONA NEIGHBORHOODS**  
 Lower Allen Township - Cumberland County, PA  
 CHARTER HOMES & NEIGHBORHOODS

**EASEMENT PLAN - NEIGHBORHOOD 5 - COMBINED ACCESS & UTILITY**

Drafting: D TURNER  
 Checked by: K POSTLETHWAIT  
 Project Engineer: G MITCHELL KING PE, PLS  
 Project Surveyor: THOMAS K. PHILLIPS PLS  
 Scale: 1"=50'

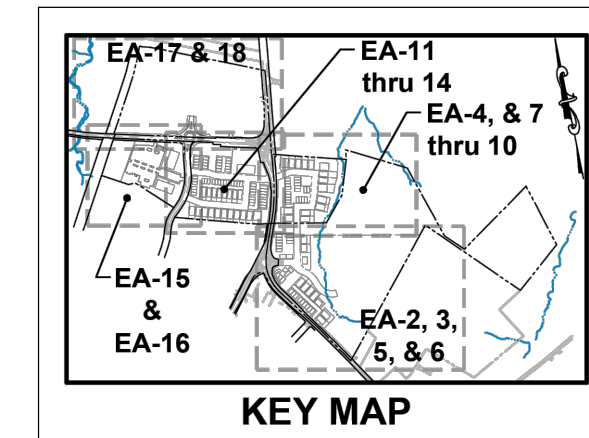
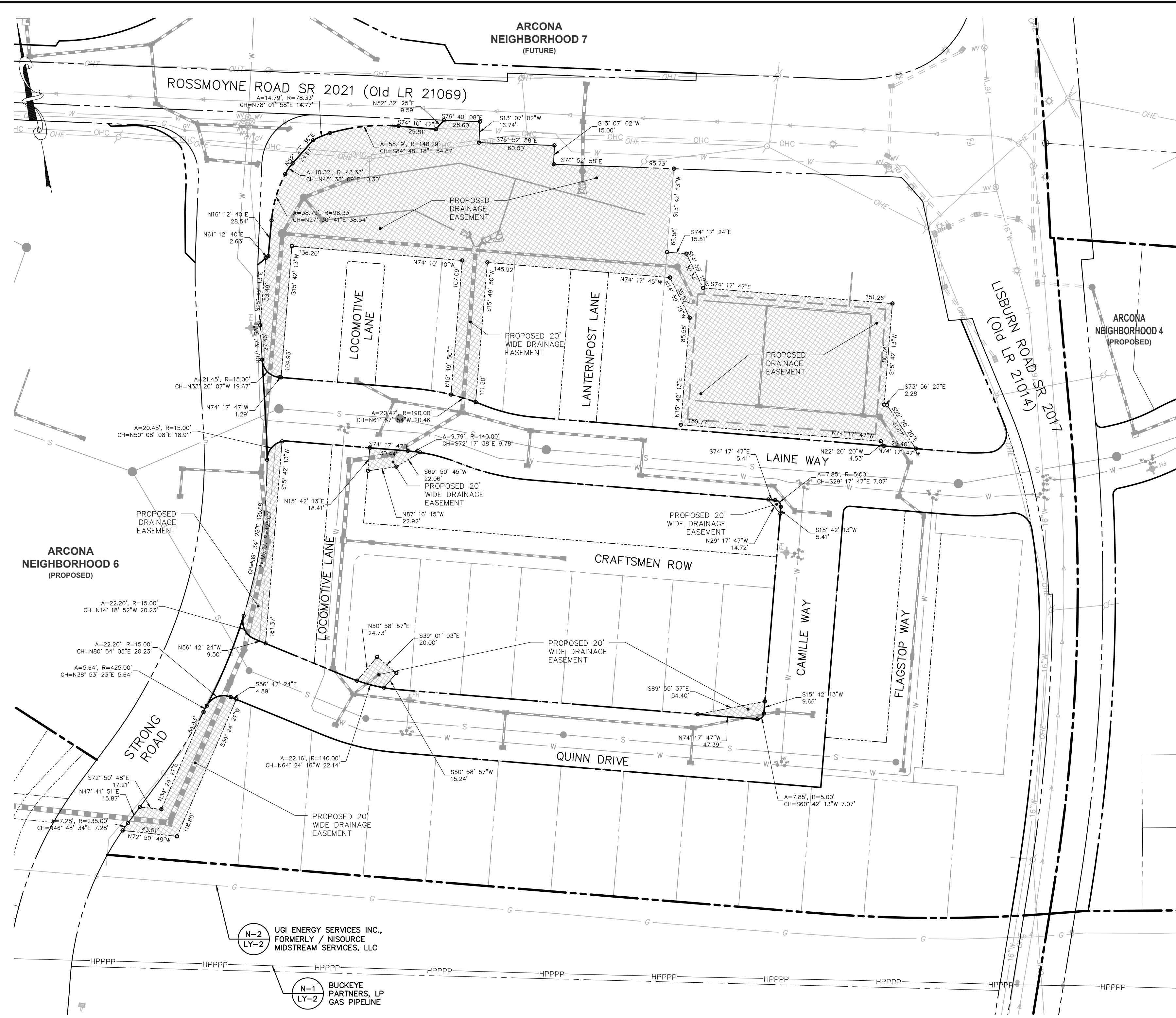
Project Manager: DAVID B. KEGERIZE PE  
 Project Engineer: G MITCHELL KING PE, PLS  
 Project Surveyor: THOMAS K. PHILLIPS PLS

Scale: 0 25 50 100 150

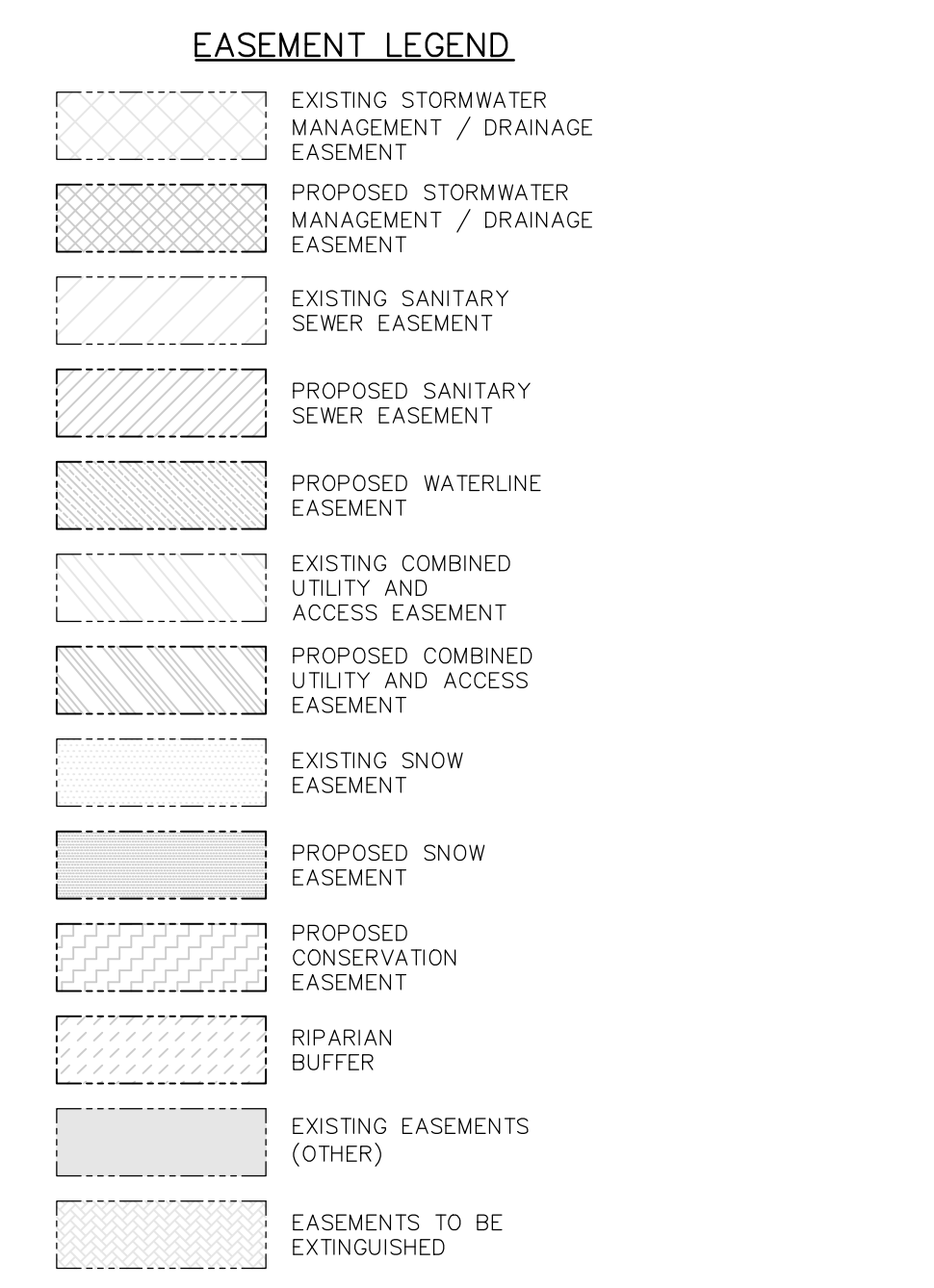
313 W. Liberty St., Suite 241 Lancaster, PA 17603 Phone: (717) 283-4538  
**TOWNE SQUARE ENGINEERING**  
 Civil Engineers & Land Planners  
 info@townesquareengineering.com

DATE	REVISIONS
3/27/26	3/27/26 TWP. ENG. LTR. DATED 3/19/26
2/24/26	2/24/26 ADDRESS PLAN TO REMOVE NEIGHBORHOOD 7
2/10/26	2/10/26 ADDRESS CDDP & TWP. ENG. COMMENTS
1/19/26	1/19/26 REVISED FOR CH&N CHANGES

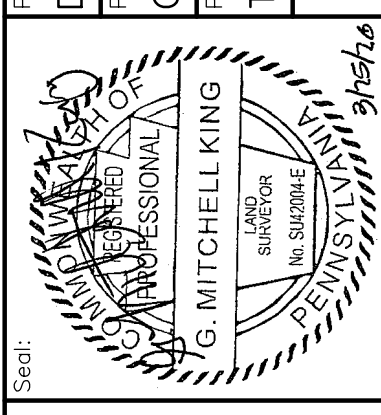
Section Number: EA-11  
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 3/26/2026 3:24 PM



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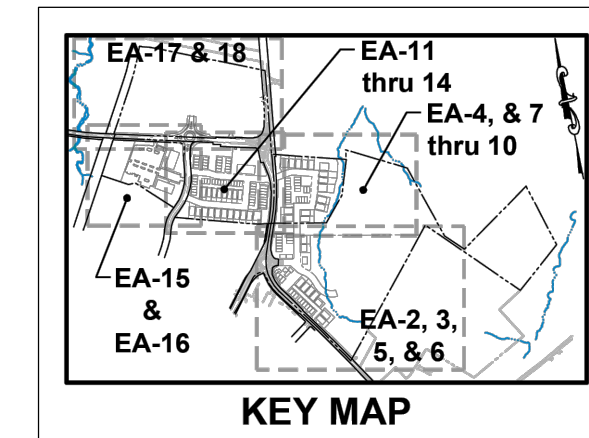
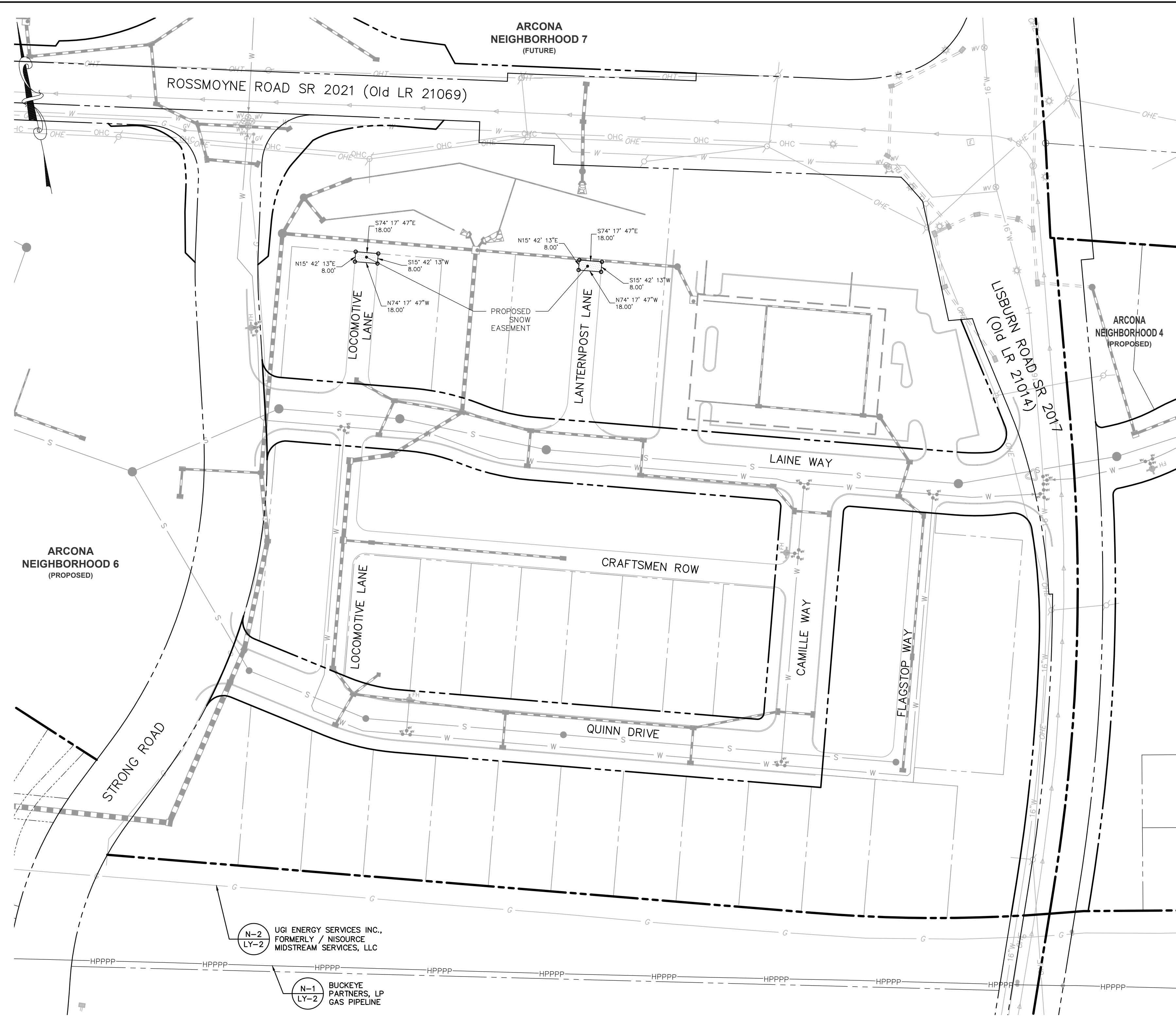
Drafting: D TURNER  
 Checked by: K POSTLETHWAIT  
 Project Engineer: G. MITCHELL KING PE, PLS  
 Project Surveyor: THOMAS K. PHILLIPS PLS  
 Scale: 1" = 50'



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2/24/26	2/24/26 UPDATE PLAN TO REMOVE NEIGHBORHOOD 7
2/10/26	2/10/26 ADDRESS CDDP & TWP. ENG. COMMENTS
1/19/26	1/19/26 REVISED FOR CH&N CHANGES

Section Number: EA-12



- NOTES:
- EXISTING UTILITY AND UNDERGROUND PIPELINE EASEMENTS ARE SHOWN ON THE EA SHEETS.
  - SEE EA-1 FOR ALL PROPOSED EASEMENTS AND EXISTING EASEMENTS TO BE EXTINGUISHED.
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**EASEMENT LEGEND**

[Pattern]	EXISTING STORMWATER MANAGEMENT / DRAINAGE EASEMENT
[Pattern]	PROPOSED STORMWATER MANAGEMENT / DRAINAGE EASEMENT
[Pattern]	EXISTING SANITARY SEWER EASEMENT
[Pattern]	PROPOSED SANITARY SEWER EASEMENT
[Pattern]	PROPOSED WATERLINE EASEMENT
[Pattern]	EXISTING COMBINED UTILITY AND ACCESS EASEMENT
[Pattern]	PROPOSED COMBINED UTILITY AND ACCESS EASEMENT
[Pattern]	EXISTING SNOW EASEMENT
[Pattern]	PROPOSED SNOW EASEMENT
[Pattern]	PROPOSED CONSERVATION EASEMENT
[Pattern]	RIPARIAN BUFFER
[Pattern]	EXISTING EASEMENTS (OTHER)
[Pattern]	EASEMENTS TO BE EXTINGUISHED

NOTE:  
SNOW REMOVAL ACTIVITIES SHALL NOT STOCKPILE SNOW AND ICE WITHIN BUCKEYE'S HPPPP.

N-2 LY-2 UGI ENERGY SERVICES INC., FORMERLY / NISOURCE MIDSTREAM SERVICES, LLC

N-1 LY-2 BUCKEYE PARTNERS, LP GAS PIPELINE

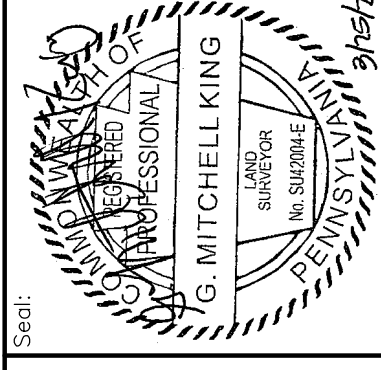
Sheet Number: 42 of 81  
Project Number: 15-100-35  
Date: DECEMBER 17, 2025

**REMAINING ARCONA NEIGHBORHOODS**  
Lower Allen Township - Cumberland County, PA  
CHARTER Homes & Neighborhoods

**EASEMENT PLAN - NEIGHBORHOOD 5 - WATER & SNOW**

Drafting: D TURNER  
Checked by: K POSTLETHWAIT  
Project Engineer: G. MITCHELL KING PE, PLS  
Project Surveyor: THOMAS K. PHILLIPS PLS  
Scale: 1"=50'

Project Manager: DAVID B. KEGERIZE PE

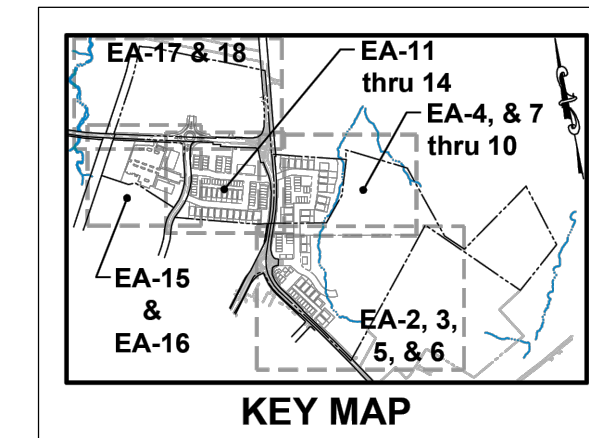
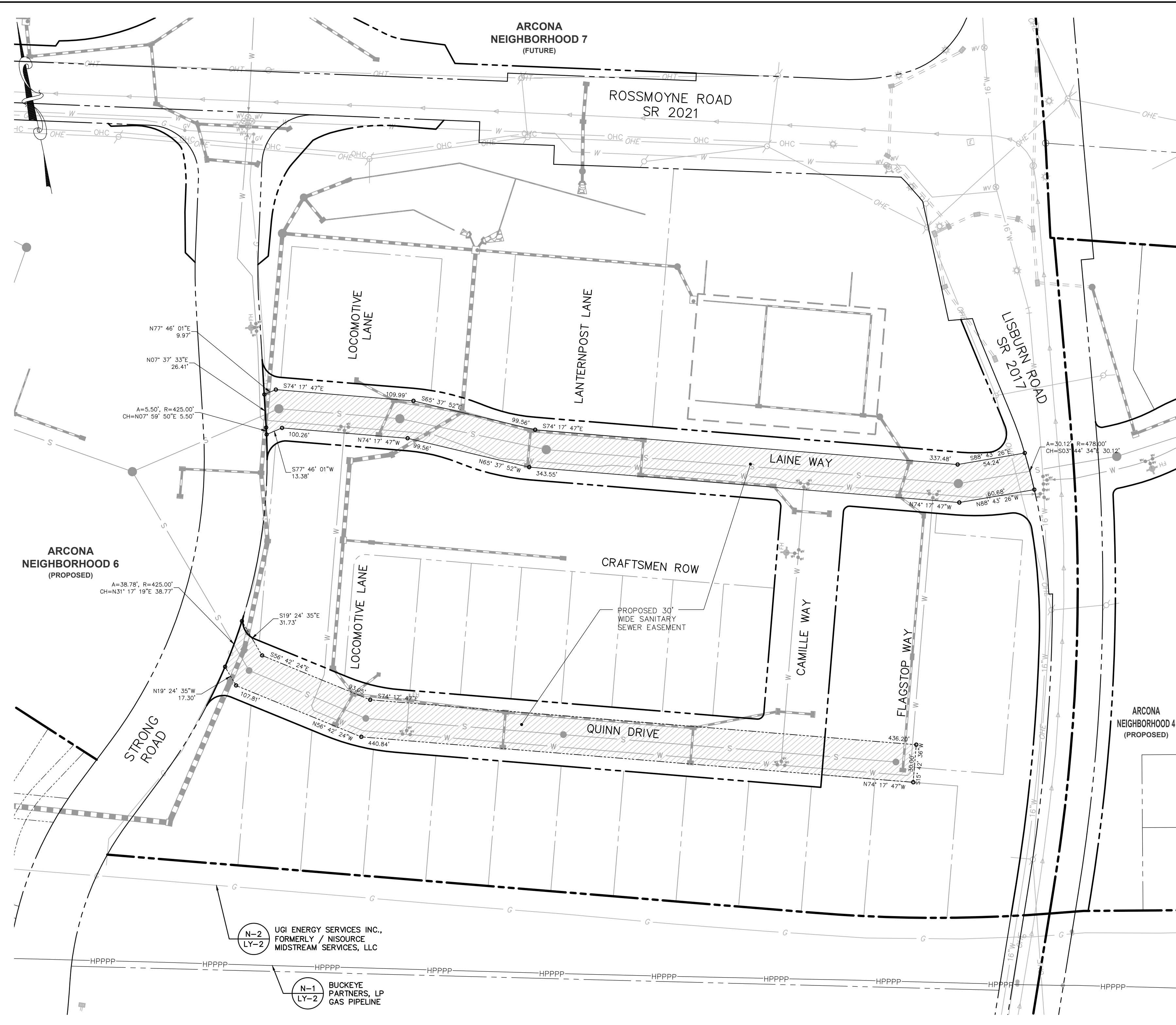


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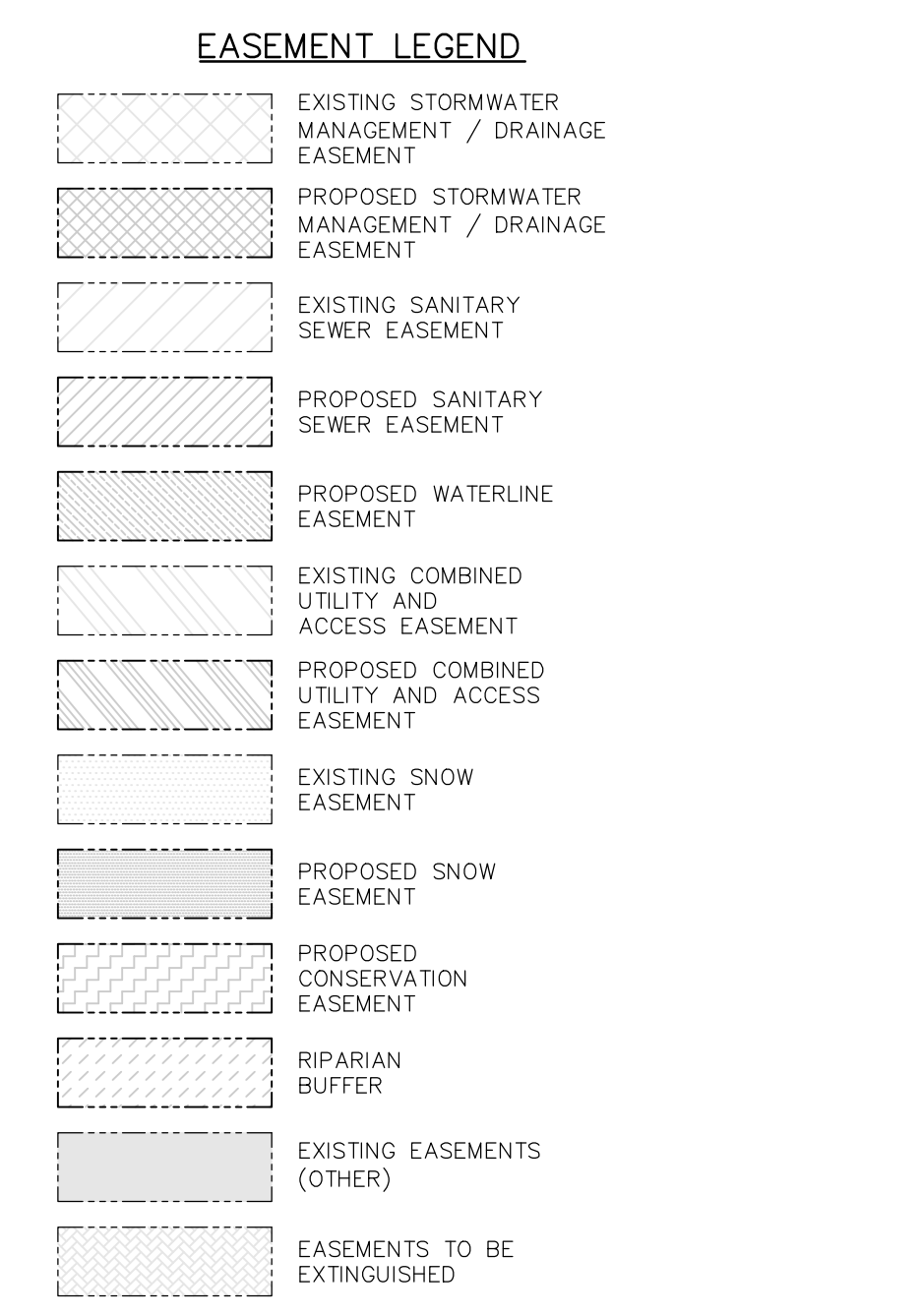
**TOWNE SQUARE ENGINEERING**  
Civil Engineers & Land Planners  
info@townesquareengineering.com

NO.	DATE	REVISIONS
1	3/27/26	ADDRESS TMP. ENG. LTR. DATED 3/19/26
2	2/24/26	UPDATE PLAN TO REMOVE NEIGHBORHOOD 7
3	2/10/26	ADDRESS CDD & TMP. ENG. COMMENTS
4	1/19/26	REVISED FOR CH&N CHANGES

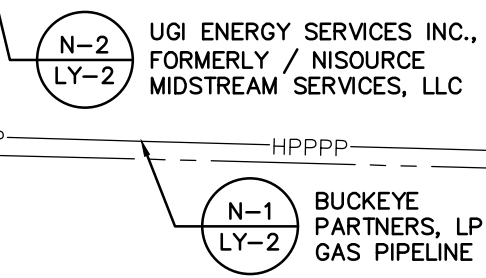
Section Number: EA-13  
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- NOTES:
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NOTE:  
SNOW REMOVAL ACTIVITIES SHALL NOT STOCKPILE SNOW AND ICE WITHIN BUCKEYE'S HPPPPP.



Sheet Number: 43 of 81  
 Project Number: 15-100-35  
 Date: DECEMBER 17, 2025

**REMAINING ARCONA NEIGHBORHOODS**  
 Lower Allen Township - Cumberland County, PA  
**EASEMENT PLAN - NEIGHBORHOOD 5 - SANITARY SEWER**

Drafting: D TURNER  
 Checked by: K POSTLETHWAIT  
 Project Engineer: G. MITCHELL KING PE, PLS  
 Project Surveyor: THOMAS K. PHILLIPS PLS  
 Scale: 1" = 50'

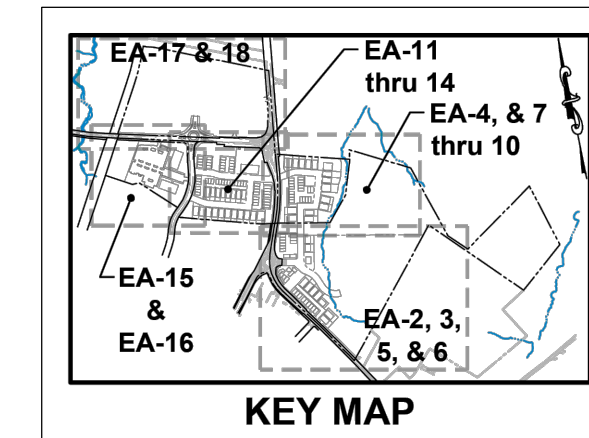
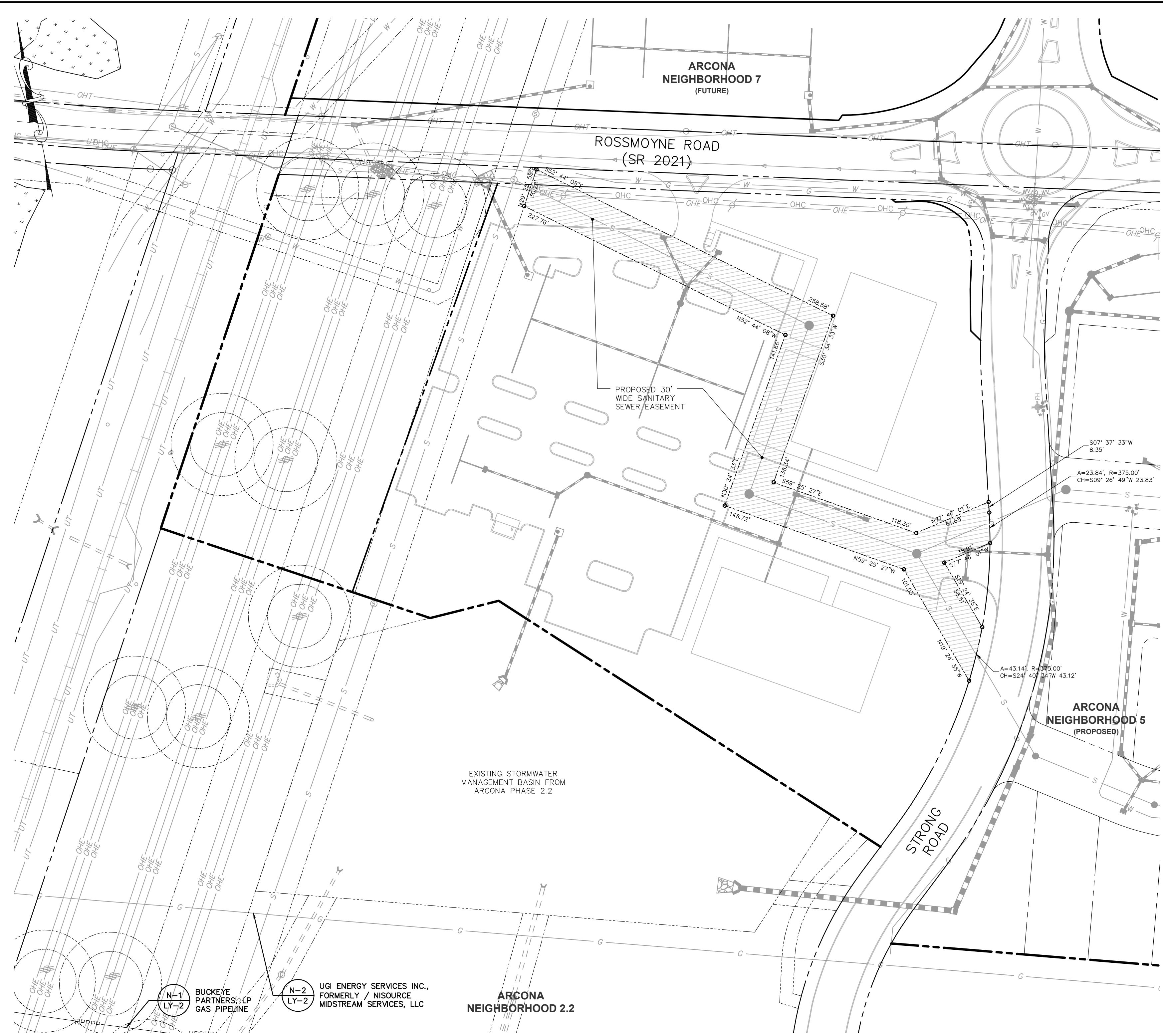
Project Manager: DAVID B. KEGERIZE PE  
 Project Engineer: G. MITCHELL KING  
 Project Surveyor: THOMAS K. PHILLIPS PLS

Seal: [Professional Engineer Seal for G. Mitchell King]

313 W. Liberty St., Suite 241  
 Lancaster, PA 17603  
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**TOWNE SQUARE ENGINEERING**  
**Civil Engineers & Land Planners**  
 info@townesquareengineering.com

DATE	REVISIONS
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2/10/26	ADDRESS CDD & TMP. ENG. COMMENTS
1/19/26	REVISED FOR CH&N CHANGES

Section Number: EA-14  
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- NOTES:**
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N-1 BUCKEYE PARTNERS, LP GAS PIPELINE  
 LY-2  
 N-2 UGI ENERGY SERVICES INC., FORMERLY / NISOURCE MIDSTREAM SERVICES, LLC  
 LY-2

Sheet Number: 44 of 81  
 Project Number: 15-100-35  
 Date: DECEMBER 17, 2025

**REMAINING ARCONA NEIGHBORHOODS**  
 Lower Allen Township - Cumberland County, PA  
 CHARTER Homes & Neighborhoods

**EASEMENT PLAN - NEIGHBORHOOD 6 - SANITARY SEWER**

Drafting: D TURNER  
 Checked by: K POSTLETHWAIT  
 Project Engineer: G. MITCHELL KING PE, PLS  
 Project Surveyor: THOMAS K. PHILLIPS PLS  
 Scale: 1" = 50'

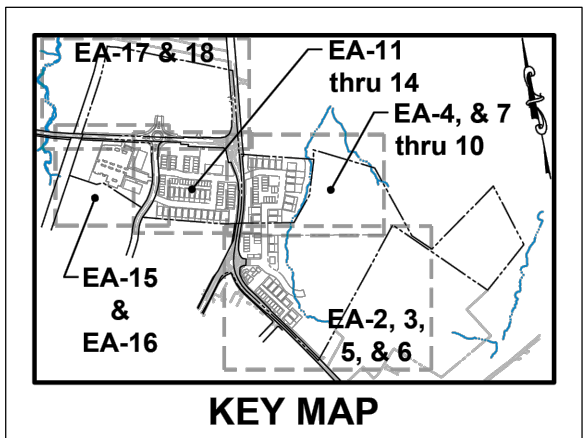
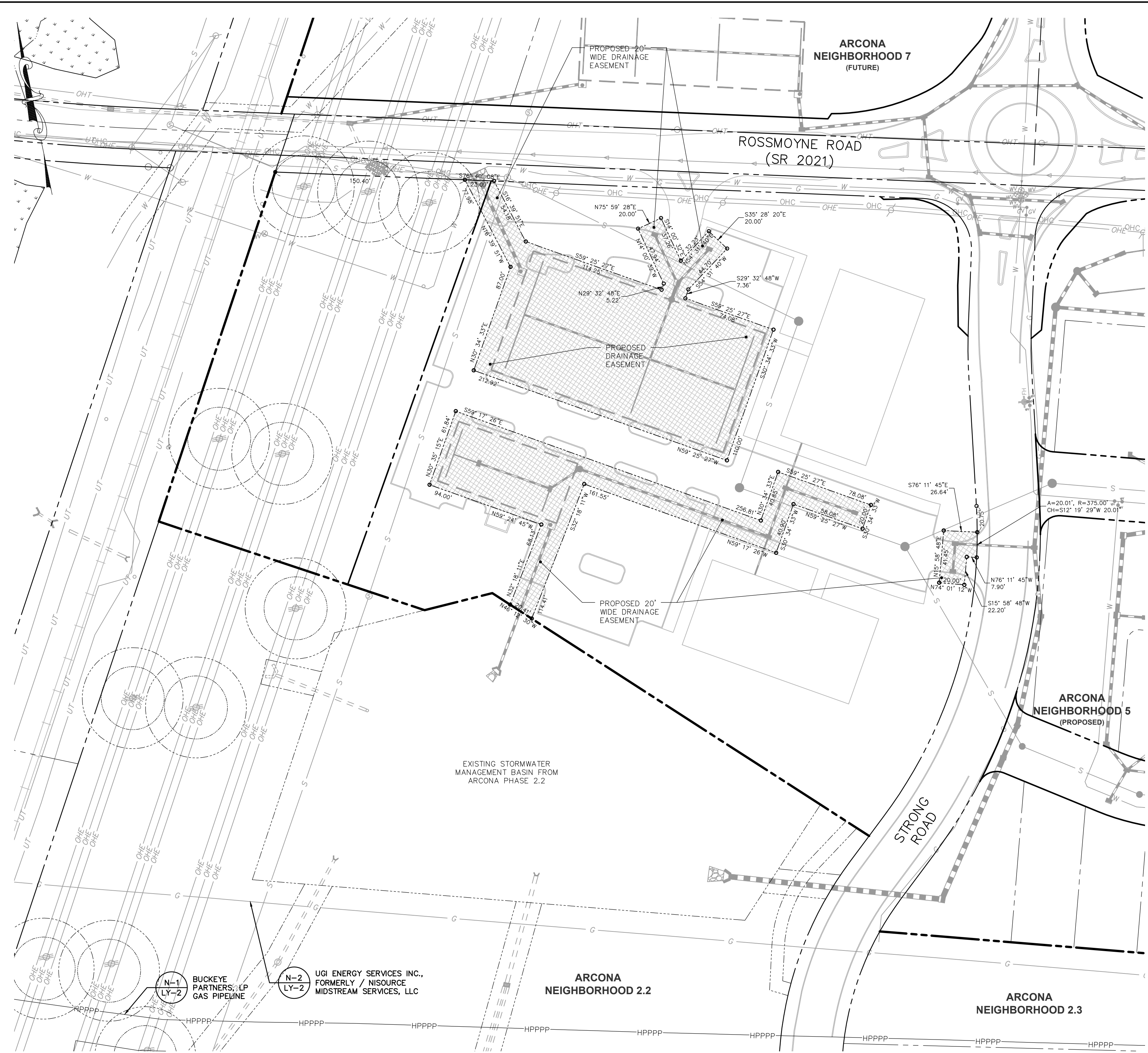
Project Manager: DAVID B. KEGERIZE PE  
 Project Engineer: G. MITCHELL KING PE, PLS  
 Project Surveyor: THOMAS K. PHILLIPS PLS

Scale: 0 25 50 100 150

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**TOWNE SQUARE ENGINEERING**  
**Civil Engineers & Land Planners**  
 info@townesquareengineering.com

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1/19/26	REVISED FOR CH&N CHANGES

Section Number: EA-15  
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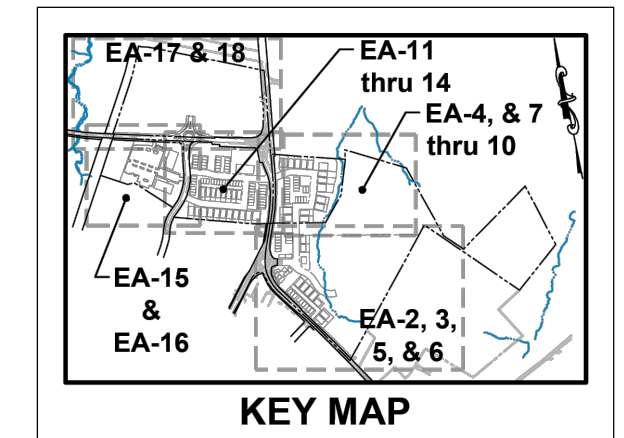
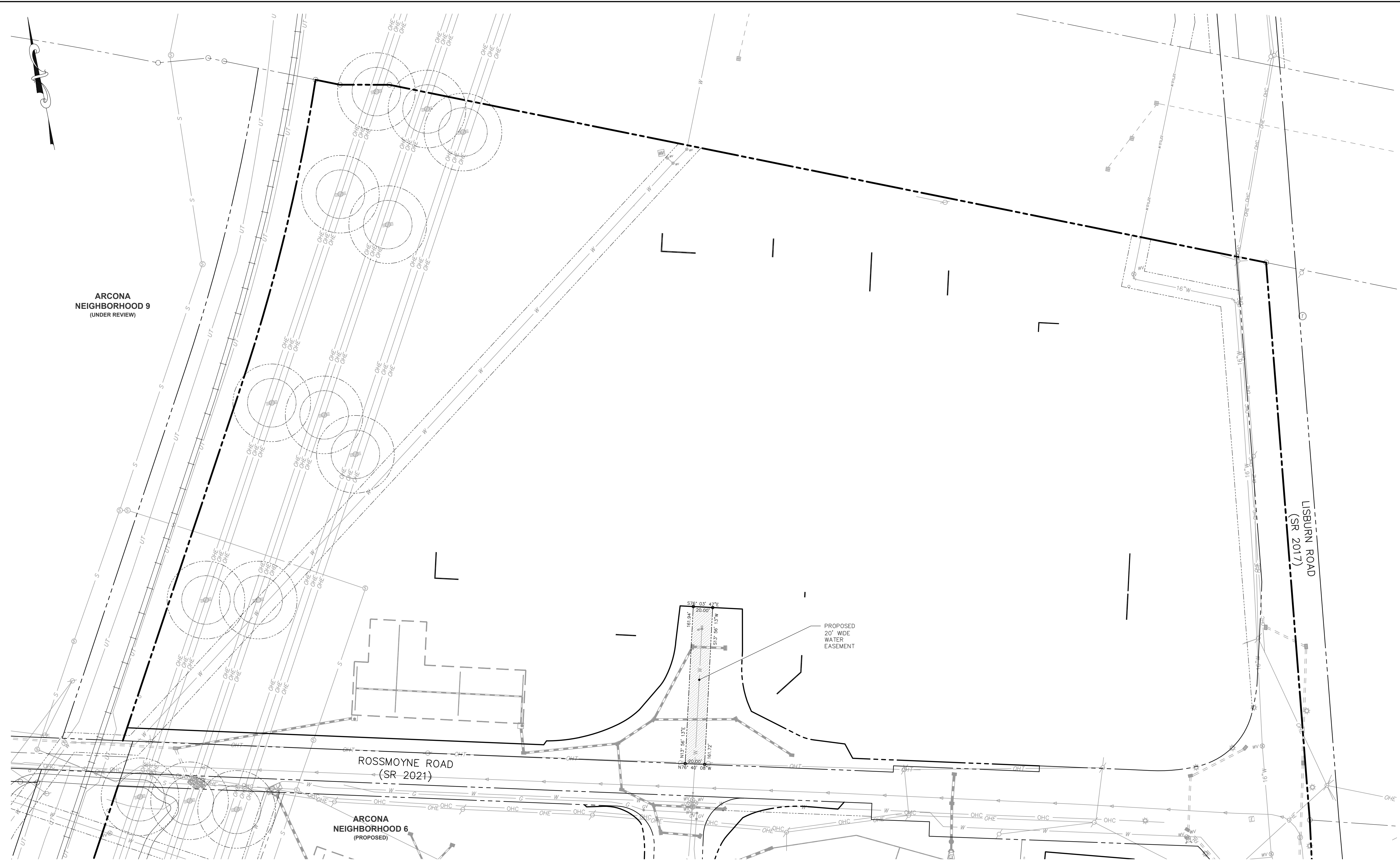


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- PROPOSED CONSERVATION EASEMENT
- RIPARIAN BUFFER
- EXISTING EASEMENTS (OTHER)
- EASEMENTS TO BE EXTINGUISHED

Sheet Number: <b>45 of 81</b>											
Project Number: <b>15-100-35</b>											
Date: <b>DECEMBER 17, 2025</b>											
<b>REMAINING ARCONA NEIGHBORHOODS</b>											
Lower Allen Township - Cumberland County, PA CHARTER Homes & Neighborhoods											
<b>EASEMENT PLAN - NEIGHBORHOOD 6 - STORM DRAINAGE</b>											
Drafting: <b>D TURNER</b>	Checked by: <b>K POSTLETHWAIT</b>										
Project Manager: <b>DAVID B. KEGERIZE PE</b>	Project Engineer: <b>G. MITCHELL KING PE, PLS</b>										
Project Surveyor: <b>THOMAS K. PHILLIPS PLS</b>											
Scale: <b>1" = 50'</b>											
0 25 50 100 150											
<p>313 W. Liberty St., Suite 241 Lancaster, PA 17603 Phone: (717) 283-4538 info@townsquareengineering.com</p> <p><b>TOWNE SQUARE ENGINEERING</b> <b>Civil Engineers &amp; Land Planners</b></p>											
<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>DATE</th> <th>REVISIONS</th> </tr> </thead> <tbody> <tr> <td>3/27/26</td> <td>ADDRESS TMP. ENG. LTR. DATED 3/19/26</td> </tr> <tr> <td>2/24/26</td> <td>UPDATE PLAN TO REMOVE NEIGHBORHOOD 7</td> </tr> <tr> <td>2/10/26</td> <td>ADDRESS CDD &amp; TMP. ENG. COMMENTS</td> </tr> <tr> <td>1/19/26</td> <td>REVISED FOR CH&amp;N CHANGES</td> </tr> </tbody> </table>		DATE	REVISIONS	3/27/26	ADDRESS TMP. ENG. LTR. DATED 3/19/26	2/24/26	UPDATE PLAN TO REMOVE NEIGHBORHOOD 7	2/10/26	ADDRESS CDD & TMP. ENG. COMMENTS	1/19/26	REVISED FOR CH&N CHANGES
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1/19/26	REVISED FOR CH&N CHANGES										
Section Number: <b>EA-16</b>											



**EASEMENT LEGEND**

[Pattern]	EXISTING STORMWATER MANAGEMENT / DRAINAGE EASEMENT
[Pattern]	PROPOSED STORMWATER MANAGEMENT / DRAINAGE EASEMENT
[Pattern]	EXISTING SANITARY SEWER EASEMENT
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 Project Number: 15-100-35  
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**REMAINING ARCONA NEIGHBORHOODS**  
 Lower Allen Township - Cumberland County, PA  
 CHARTER Homes & Neighborhoods

**EASEMENT PLAN - NEIGHBORHOOD 7 - WATER**

Drafting: D TURNER  
 Checked by: K POSTLETHWAIT  
 Project Engineer: G. MITCHELL KING PE, PLS  
 Project Surveyor: THOMAS K. PHILLIPS PLS  
 Scale: 1"=50'

Project Manager: DAVID B. KEGERIZE PE  
 Project Engineer: G. MITCHELL KING PE, PLS  
 Project Surveyor: THOMAS K. PHILLIPS PLS

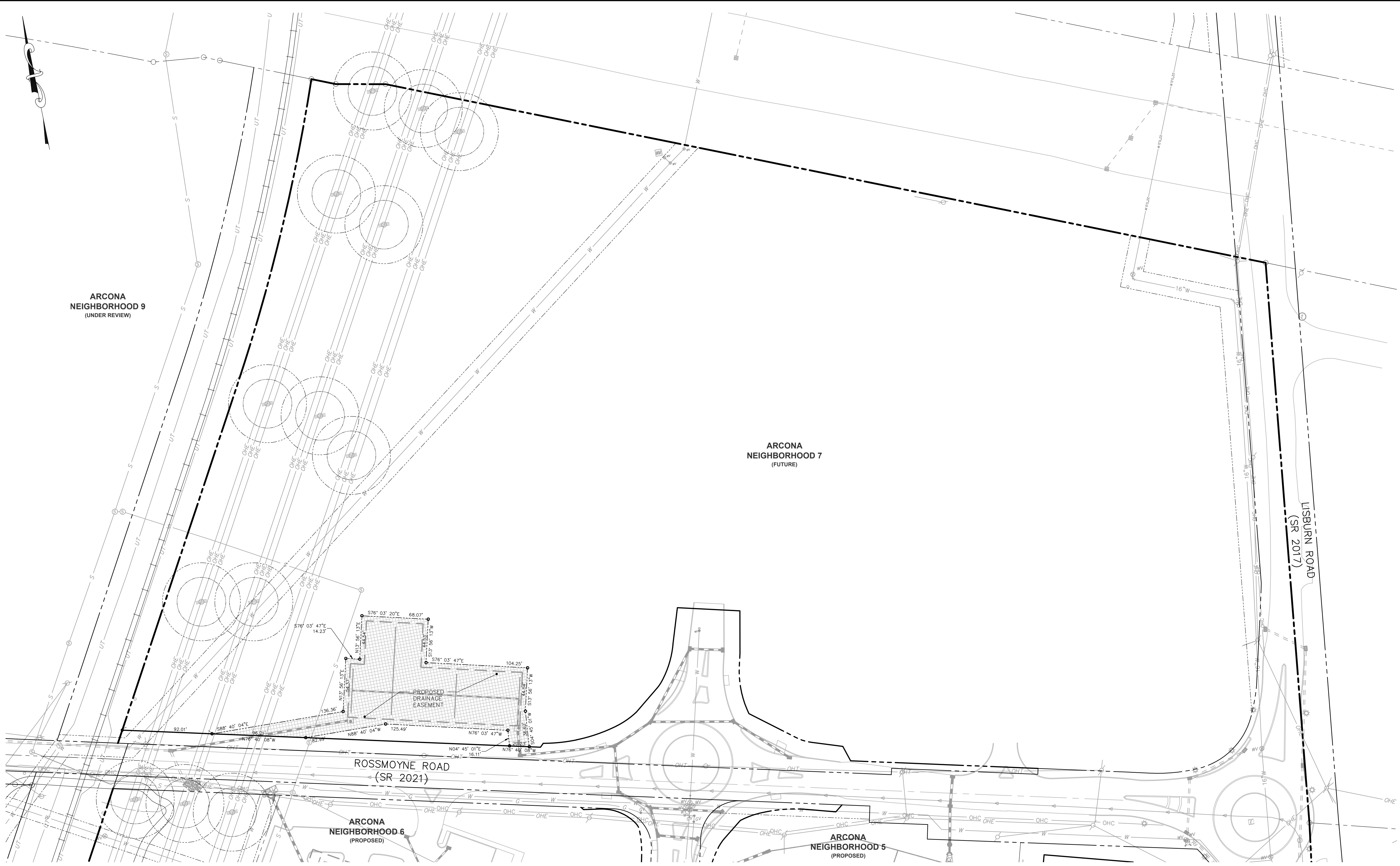
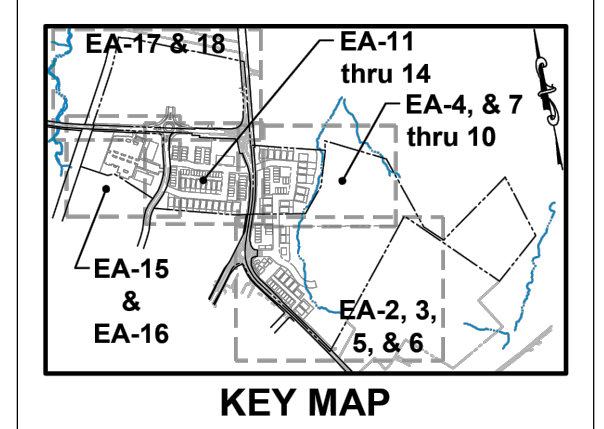
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Seal: [Professional Engineer Seal for G. MITCHELL KING, No. 0000000000, State of PA]

313 W. Liberty St., Suite 241 Lancaster, PA 17603 Phone: (717) 283-4538  
**TOWNE SQUARE ENGINEERING**  
**Civil Engineers & Land Planners**  
 info@townesquareengineering.com

DATE	REVISIONS
3/27/26	ADDRESS TWP. ENG. LTR. DATED 3/19/26
2/24/26	UPDATE PLAN TO REMOVE NEIGHBORHOOD 7
2/10/26	ADDRESS CCPD & TWP. ENG. COMMENTS
1/19/26	REVISED FOR CH&N CHANGES

Section Number: EA-17  
 3/26/2026 3:24 PM  
 L:\15-100-35\SHEETS\PRELIM-FINAL\6 EA-17.DWG

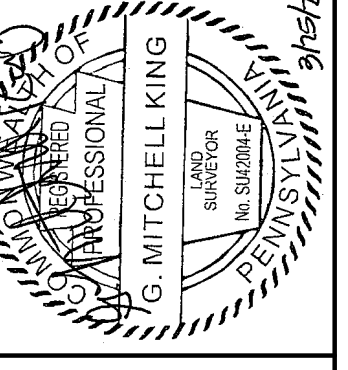


**EASEMENT LEGEND**

- EXISTING STORMWATER MANAGEMENT / DRAINAGE EASEMENT
- PROPOSED STORMWATER MANAGEMENT / DRAINAGE EASEMENT
- EXISTING SANITARY SEWER EASEMENT
- PROPOSED SANITARY SEWER EASEMENT
- PROPOSED WATERLINE EASEMENT
- EXISTING COMBINED UTILITY AND ACCESS EASEMENT
- PROPOSED COMBINED UTILITY AND ACCESS EASEMENT
- EXISTING SNOW EASEMENT
- PROPOSED SNOW EASEMENT
- PROPOSED CONSERVATION EASEMENT
- RIPARIAN BUFFER
- EXISTING EASEMENTS (OTHER)
- EASEMENTS TO BE EXTINGUISHED

**REMAINING ARCONA NEIGHBORHOODS**  
Lower Allen Township - Cumberland County, PA  
CHARTERED HOMEOWNERS ASSOCIATION

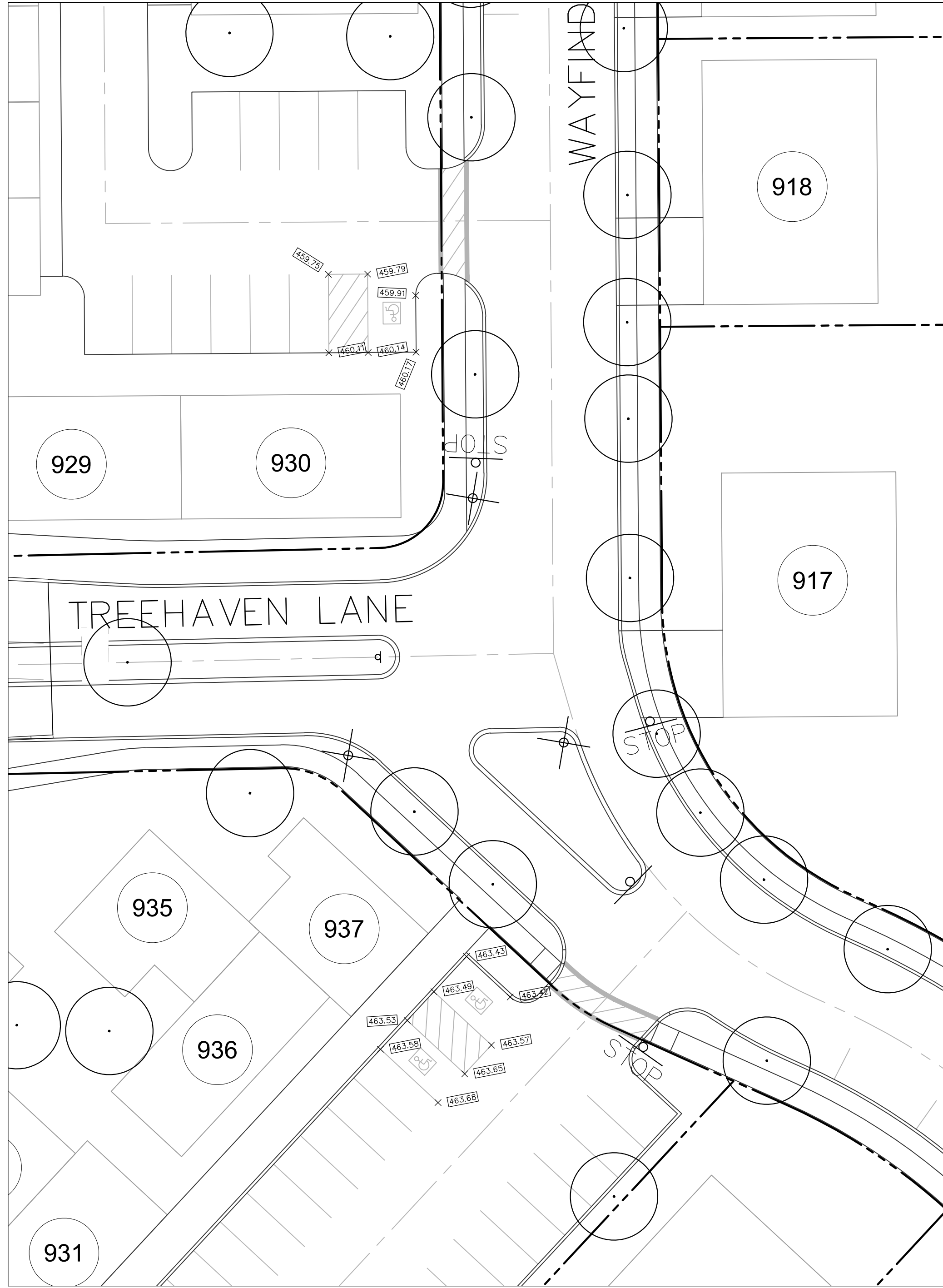
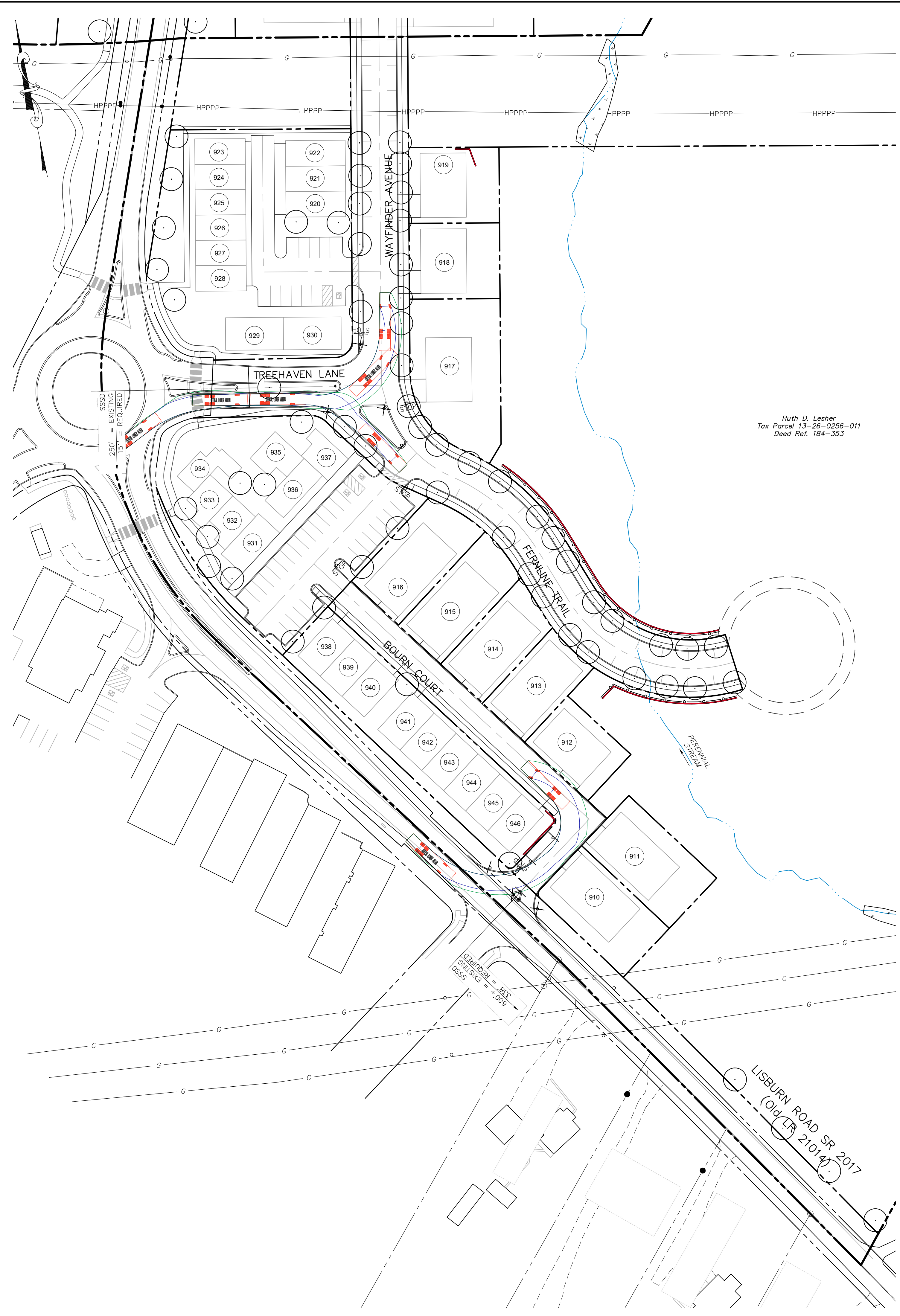
Drafting: D TURNER  
Checked by: K POSTLETHWAIT  
Project Engineer: G. MITCHELL KING PE, PLS  
Project Surveyor: THOMAS K. PHILLIPS PLS  
Scale: 1" = 50'



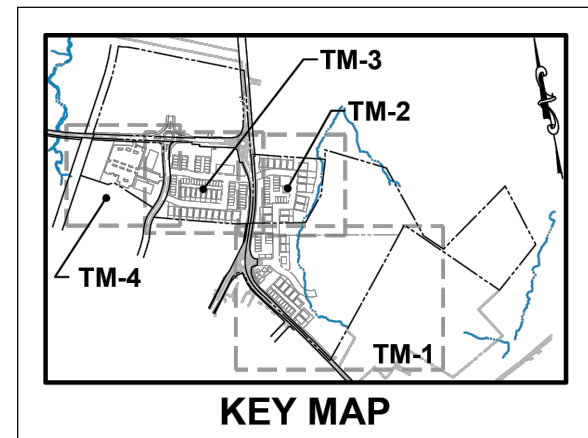
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Phone: (717) 283-4538  
**TOWNE SQUARE ENGINEERING**  
Civil Engineers & Land Planners  
info@townesquareengineering.com

- NOTES:**
- EXISTING UTILITY AND UNDERGROUND PIPELINE EASEMENTS ARE SHOWN ON THE EA SHEETS.
  - SEE EA-1 FOR ALL PROPOSED EASEMENTS AND EXISTING EASEMENTS TO BE EXTINGUISHED.
  - SEE EA-2 THRU EA-18 FOR EASEMENT DETAILS AND TABLES.
  - THE ACTUAL LIMITS OF THE UTILITY EASEMENTS WITHIN THE AREAS ON THIS ON THIS PLAN NOTED AS "COMBINED UTILITY AND ACCESS EASEMENTS" ARE SPECIFICALLY SET FORTH IN THE GRANTS OF THOSE EASEMENTS TO THE INDIVIDUAL UTILITY PROVIDER, WHICH GRANTS ARE BEING RECORDED SEPARATE FROM THIS PLAN.

NO.	DATE	REVISIONS
1	3/27/26	ENG. LTR. DATED 3/19/26
2	2/24/26	UPDATE PLAN TO REMOVE NEIGHBORHOOD 7
3	2/10/26	ADDRESS CDD & TMP. ENG. COMMENTS
4	1/19/26	REVISED FOR CH&N CHANGES

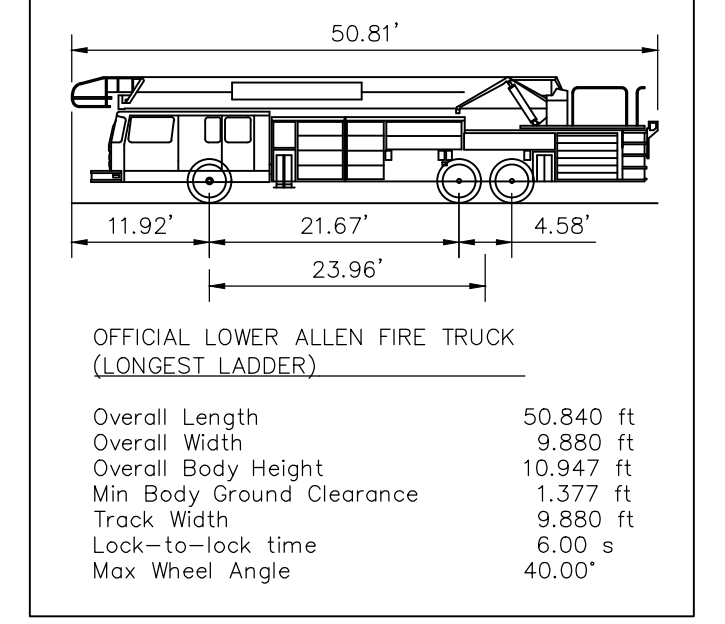


HANDICAPPED PARKING DETAIL  
SCALE 1"=20'



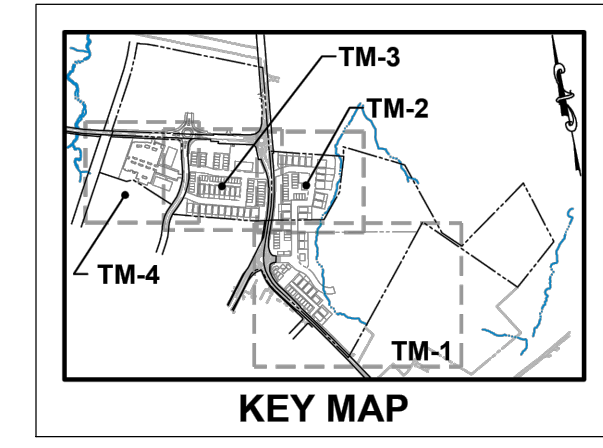
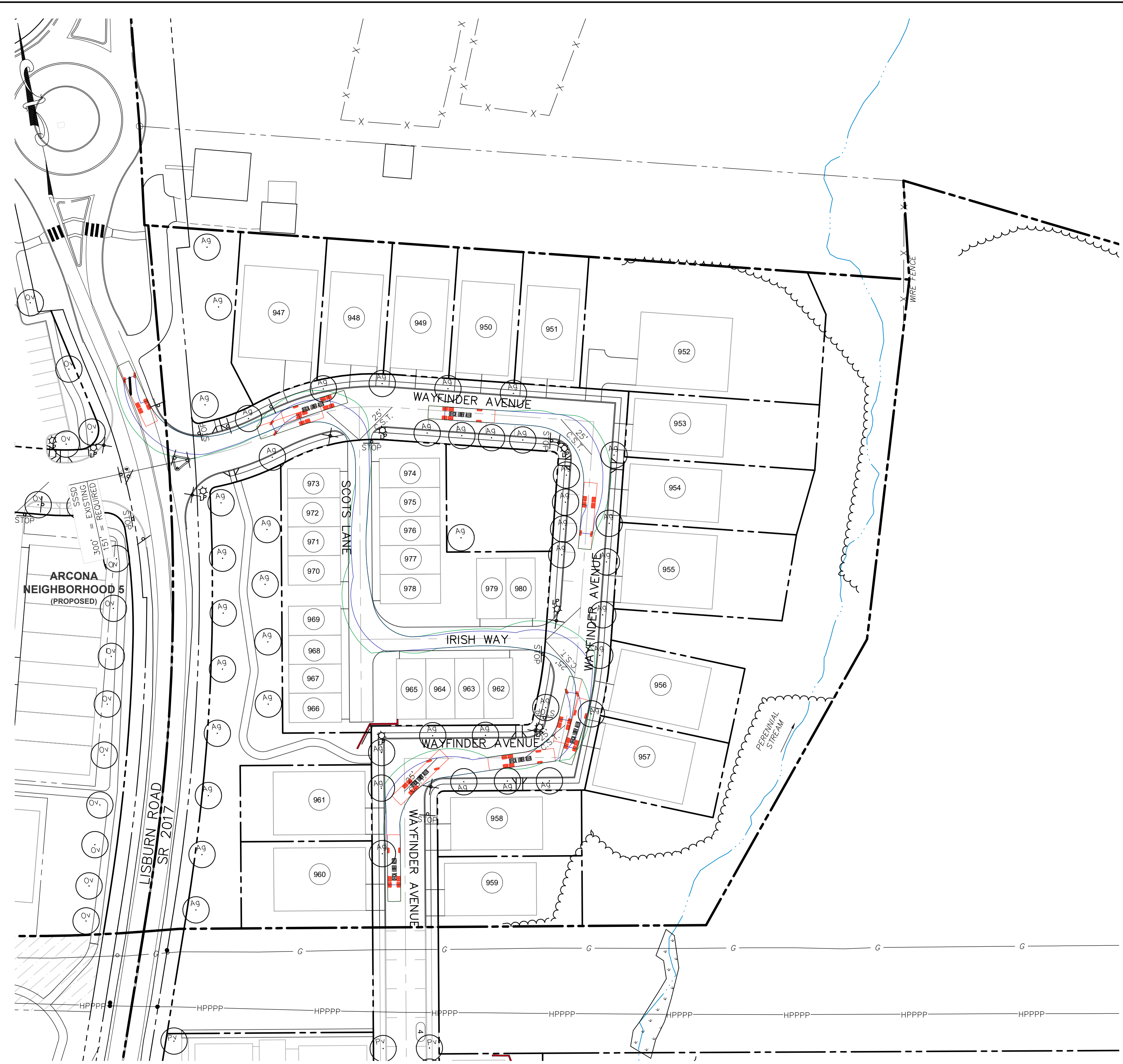
TURNING MOVEMENT LEGEND (COLOR)

- = VEHICLE WHEELS PATH
- = VEHICLE BODY
- = VEHICLE BODY OVERHANG



- NOTE:
- SEE SHEETS LA-1 THROUGH LA-4 FOR SIGN LEGENDS AND SHEET LA-5 FOR ADDITIONAL SIGN DETAILS.
  - SEE SHEET CD-1 FOR STOP SIGN AND STREET SIGN DETAILS.

Sheet Number: <b>48 of 81</b>	
Project Number: <b>15-100-35</b>	
Date: <b>DECEMBER 17, 2025</b>	
<b>REMAINING ARCONA NEIGHBORHOODS</b>	
Lower Allen Township - Cumberland County, PA	
<small>CHARTER Homes &amp; Neighborhoods</small>	
<b>TURNING MOVEMENT PLAN - NEIGHBORHOOD 3.1</b>	
Project Manager: <b>DAVID B. KEGERIZE PE</b>	Drafting: <b>D TURNER</b>
Project Engineer: <b>G. MITCHELL KING PE, PLS</b>	Checked by: <b>K POSTLETHWAIT</b>
Project Surveyor: <b>THOMAS K. PHILLIPS PLS</b>	Scale: <b>1"=50'</b>
<b>TOWNE SQUARE ENGINEERING</b> <b>Civil Engineers &amp; Land Planners</b> info@townsquareengineering.com	
313 W. Liberty St., Suite 241 Lancaster, PA 17603 Phone: (717) 283-4538	
3/27/26 ADDRESS TWP. ENG. LTR. DATED 3/19/26	REVISIONS
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2/10/26 ADDRESS CDD & TWP. ENG. COMMENTS	
1/19/26 REVISED FOR CH&N CHANGES	
DATE	
Section Number: <b>TM-1</b>	
<b>PRELIMINARY / FINAL</b>	



Sheet Number:  
49 of 81  
Project Number:  
15-100-35  
Date:  
DECEMBER 17, 2025

**REMAINING ARCONA NEIGHBORHOODS**  
Lower Allen Township - Cumberland County, PA  
CHARTER Homes & Neighborhoods

Project Manager: DAVID B. KEGERIZE PE  
Project Engineer: G. MITCHELL KING PE, PLS  
Project Surveyor: THOMAS K. PHILLIPS PLS

Drafting: D TURNER  
Checked by: K POSTLETHWAIT

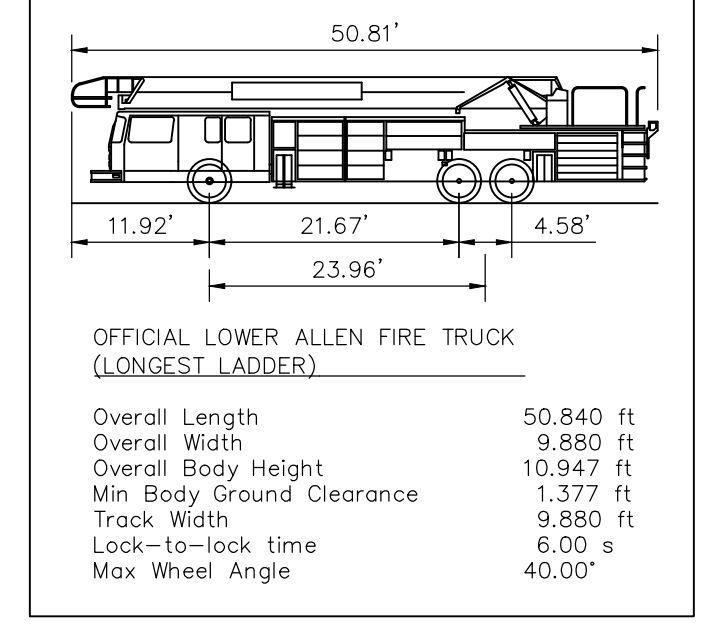
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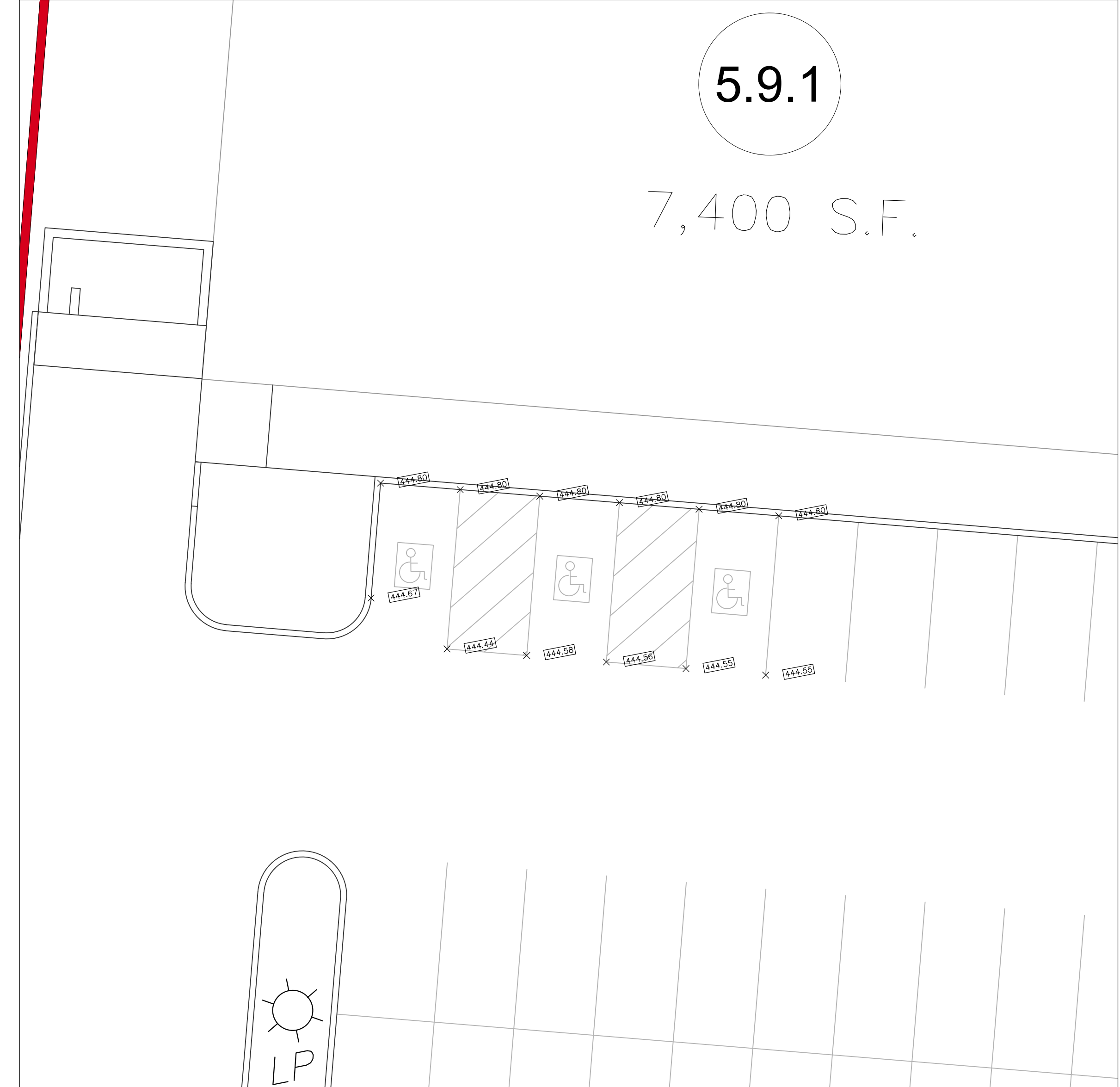
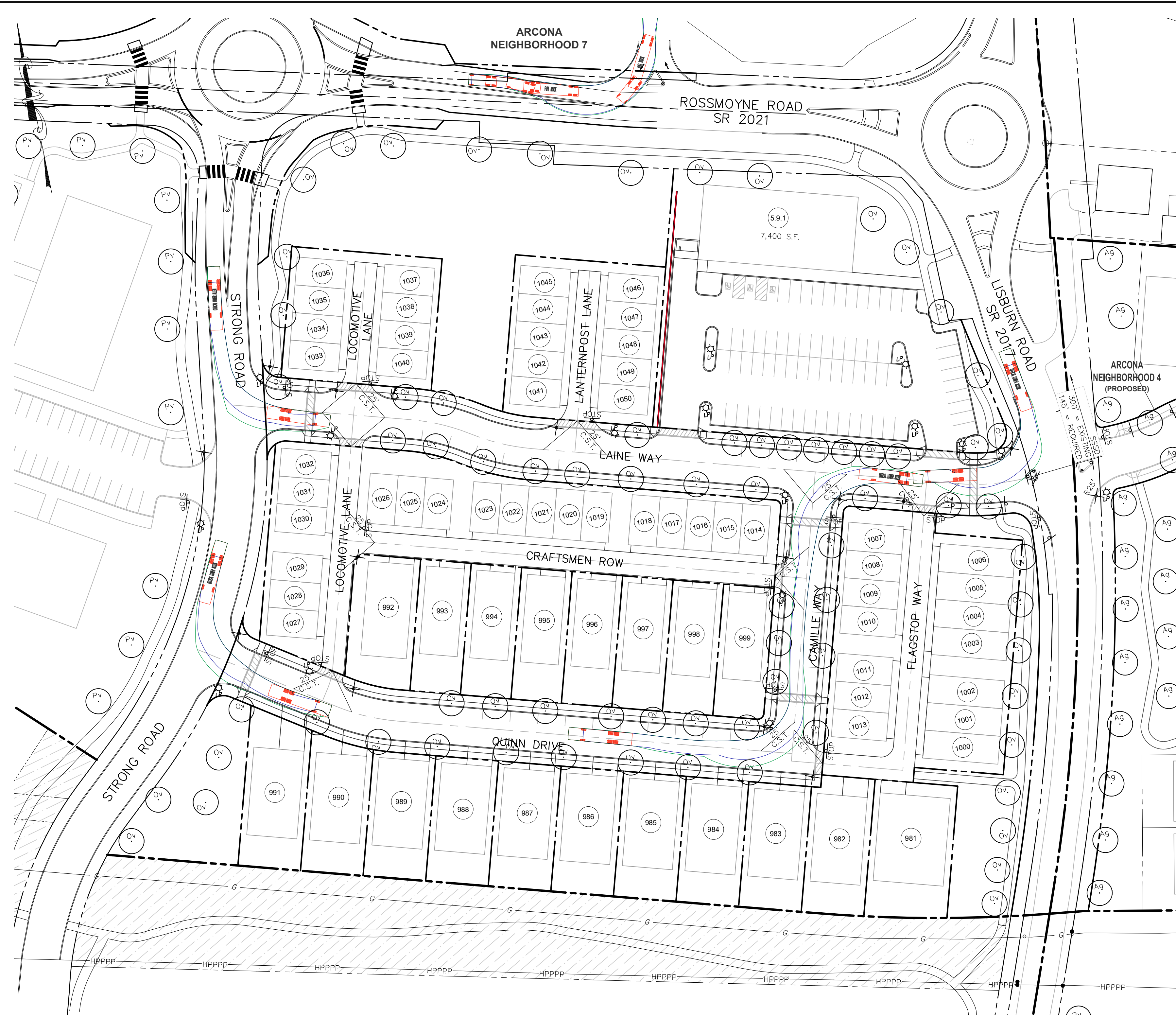
Section Number:  
TM-2

TURNING MOVEMENT LEGEND (COLOR)

- = VEHICLE WHEELS PATH
- = VEHICLE BODY
- = VEHICLE BODY OVERHANG



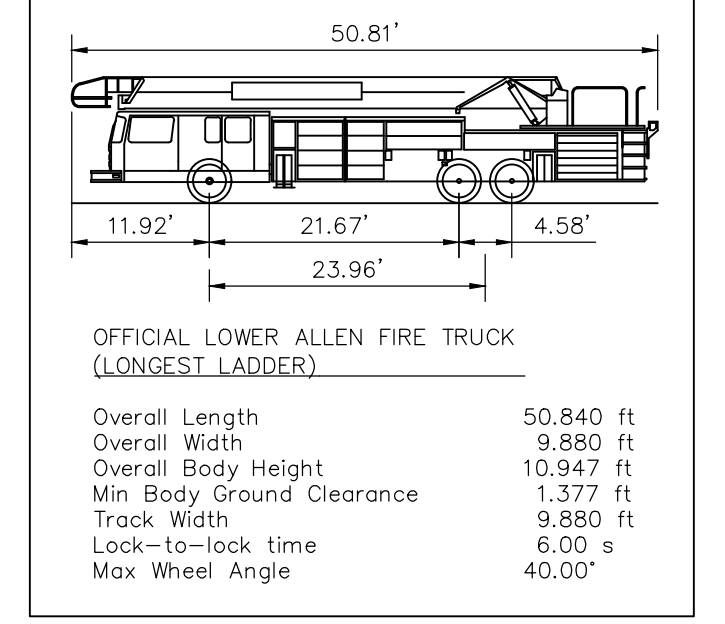
- NOTE:
- SEE SHEETS LA-1 THROUGH LA-4 FOR SIGN LEGENDS AND SHEET LA-5 FOR ADDITIONAL SIGN DETAILS.
  - SEE SHEET CD-1 FOR STOP SIGN AND STREET SIGN DETAILS.



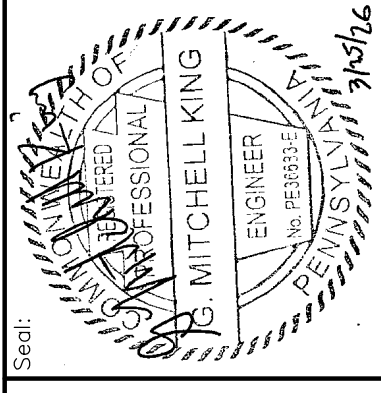
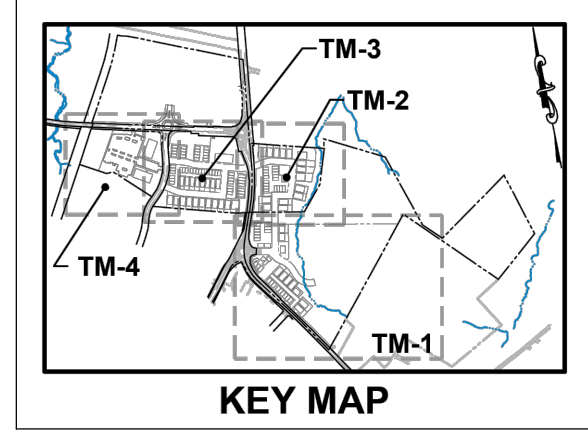
HANDICAPPED PARKING DETAIL  
SCALE 1"=10'

TURNING MOVEMENT LEGEND (COLOR)

- = VEHICLE WHEELS PATH
- = VEHICLE BODY
- = VEHICLE BODY OVERHANG



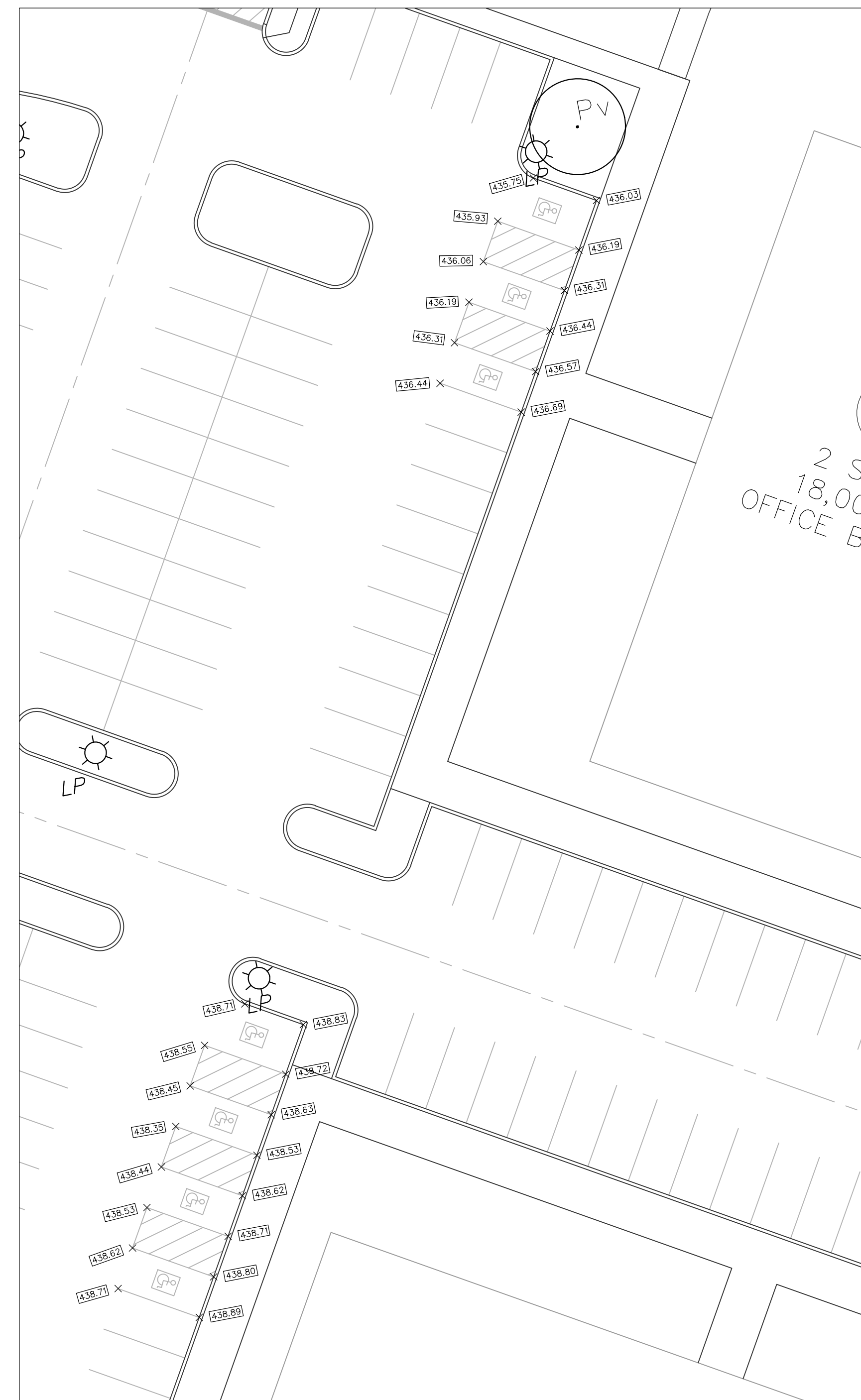
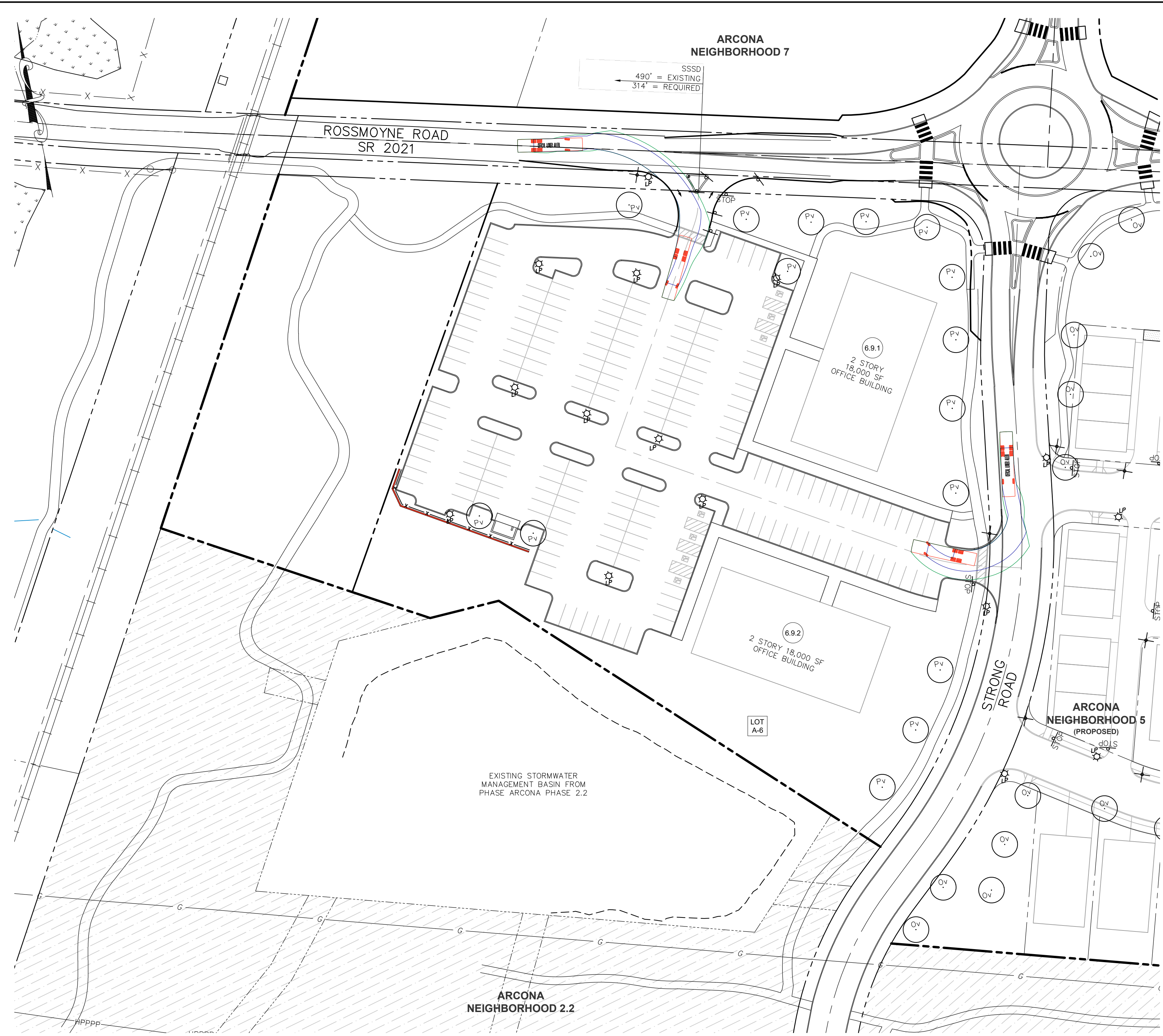
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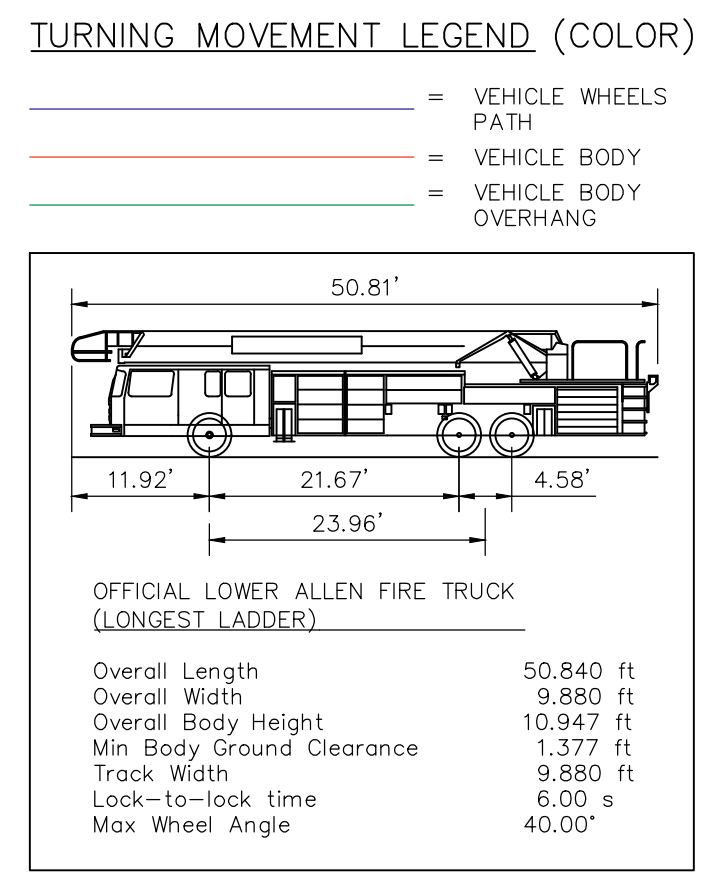
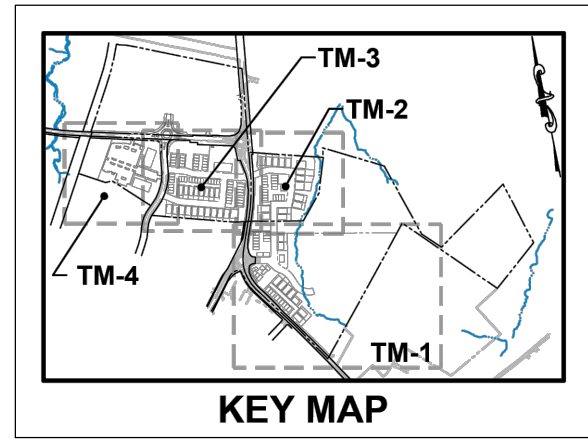
313 W. Liberty St., Suite 241  
Lancaster, PA 17603  
Phone: (717) 283-4538

**TOWNE SQUARE ENGINEERING**  
Civil Engineers & Land Planners  
info@townsquareengineering.com

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HANDICAPPED PARKING DETAIL  
SCALE 1"=20'



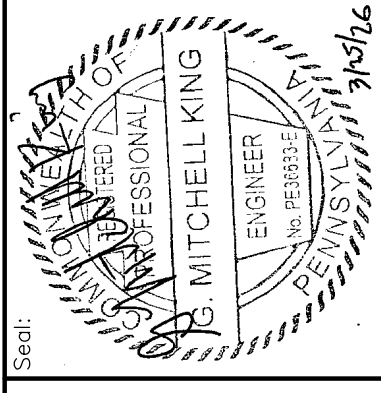
**NOTE:**  
1. SEE SHEETS LA-1 THROUGH LA-4 FOR SIGN LEGENDS AND SHEET LA-5 FOR ADDITIONAL SIGN DETAILS.  
2. SEE SHEET CD-1 FOR STOP SIGN AND STREET SIGN DETAILS.

**REMAINING ARCONA NEIGHBORHOODS**  
Lower Allen Township - Cumberland County, PA  
CHARTER Homes & Neighborhoods

Project Manager: DAVID B. KEGERIZE PE  
Project Engineer: G. MITCHELL KING PE, PLS  
Project Surveyor: THOMAS K. PHILLIPS PLS

Drafting: D TURNER  
Checked by: K POSTLETHWAIT

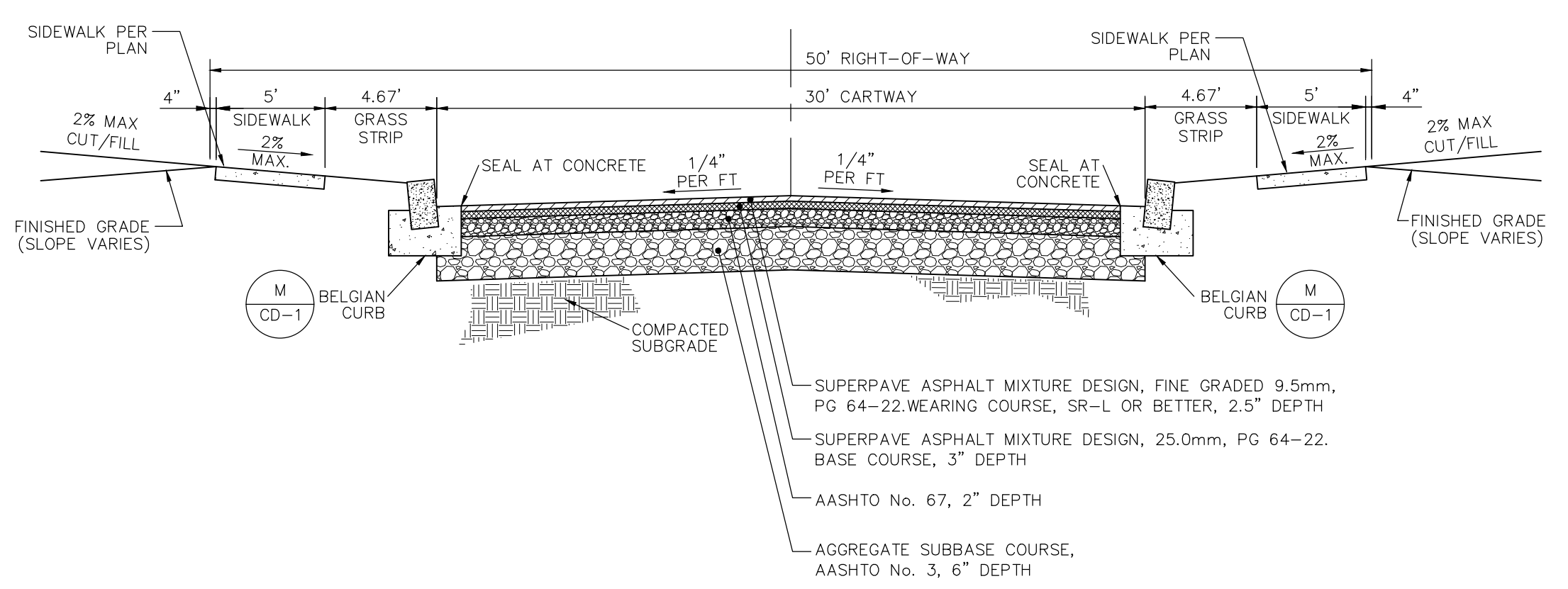
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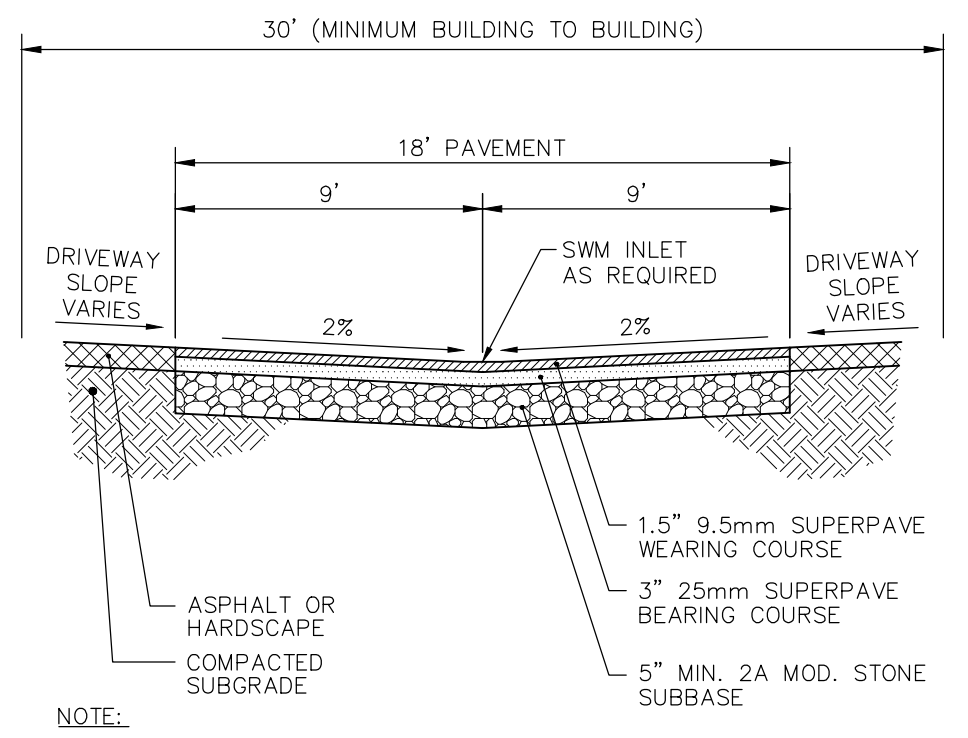


**A TYPICAL PRIVATE STREET (30' CARTWAY)**  
CD-1 NOT TO SCALE

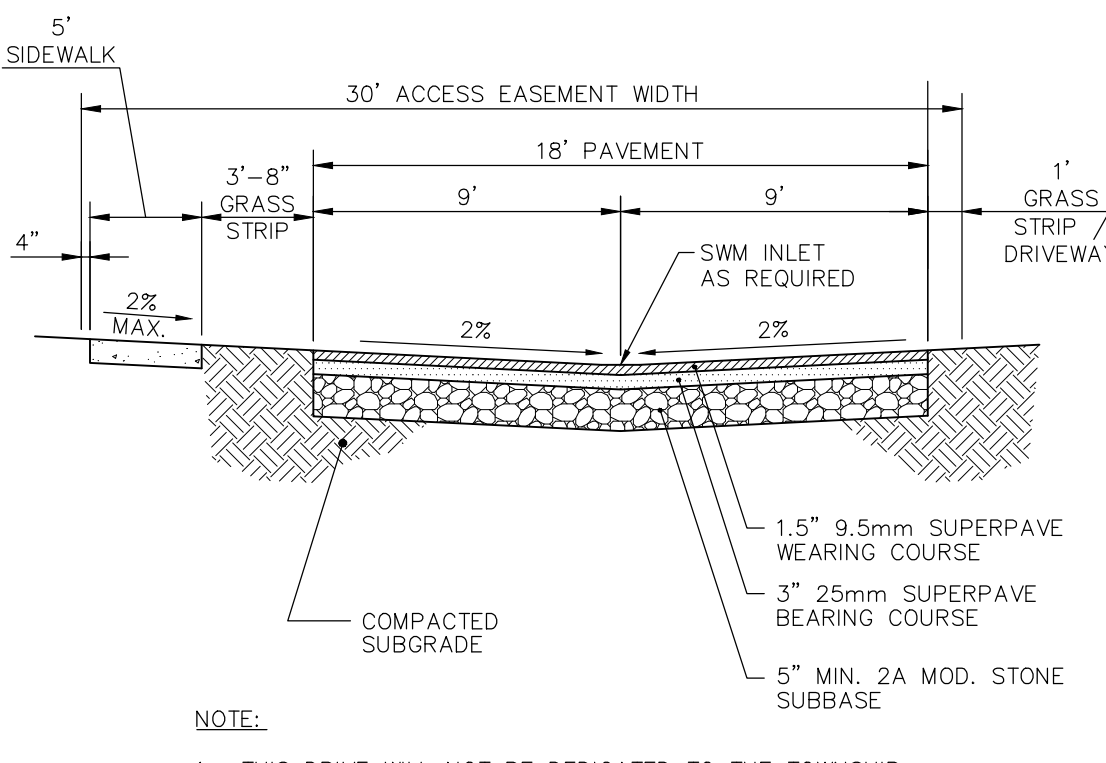
**STREET SECTION NOTES:**

- WEARING COURSE PLACED IN TWO LIFTS, 1-INCH DEPTH FIRST LIFT, 1.5" DEPTH FINAL LIFT
- FIRST WEARING COURSE LIFT MUST BE PLACED WITHIN 30 DAYS OF PLACING BASE COURSE
- SECOND WEARING COURSE LIFT MUST NOT BE PLACED PRIOR TO OCCUPANCY OF 90% OF UNITS USING THE STREET FOR ACCESS.
- SUPERPAVE MIX DESIGN BASED ON ESALS MUST BE APPROVED BY THE MUNICIPALITY PRIOR TO CONSTRUCTION
- DEPTH OF BASE COURSE AND AGGREGATE SUBBASE ARE SHOWN AS THE MINIMUM FOR RESIDENTIAL CUL-DE-SAC AND LOCAL ACCESS STREETS WITH ADT LESS THAN 400. ACTUAL DEPTHS FOR OTHERS STREETS MUST BE DETERMINED BY A PAVEMENT DESIGN APPROVED BY THE MUNICIPALITY.
- 6" STANDARD REVEAL (SEE M/CD-1) 8" SUMP CONDITION AT INLETS.

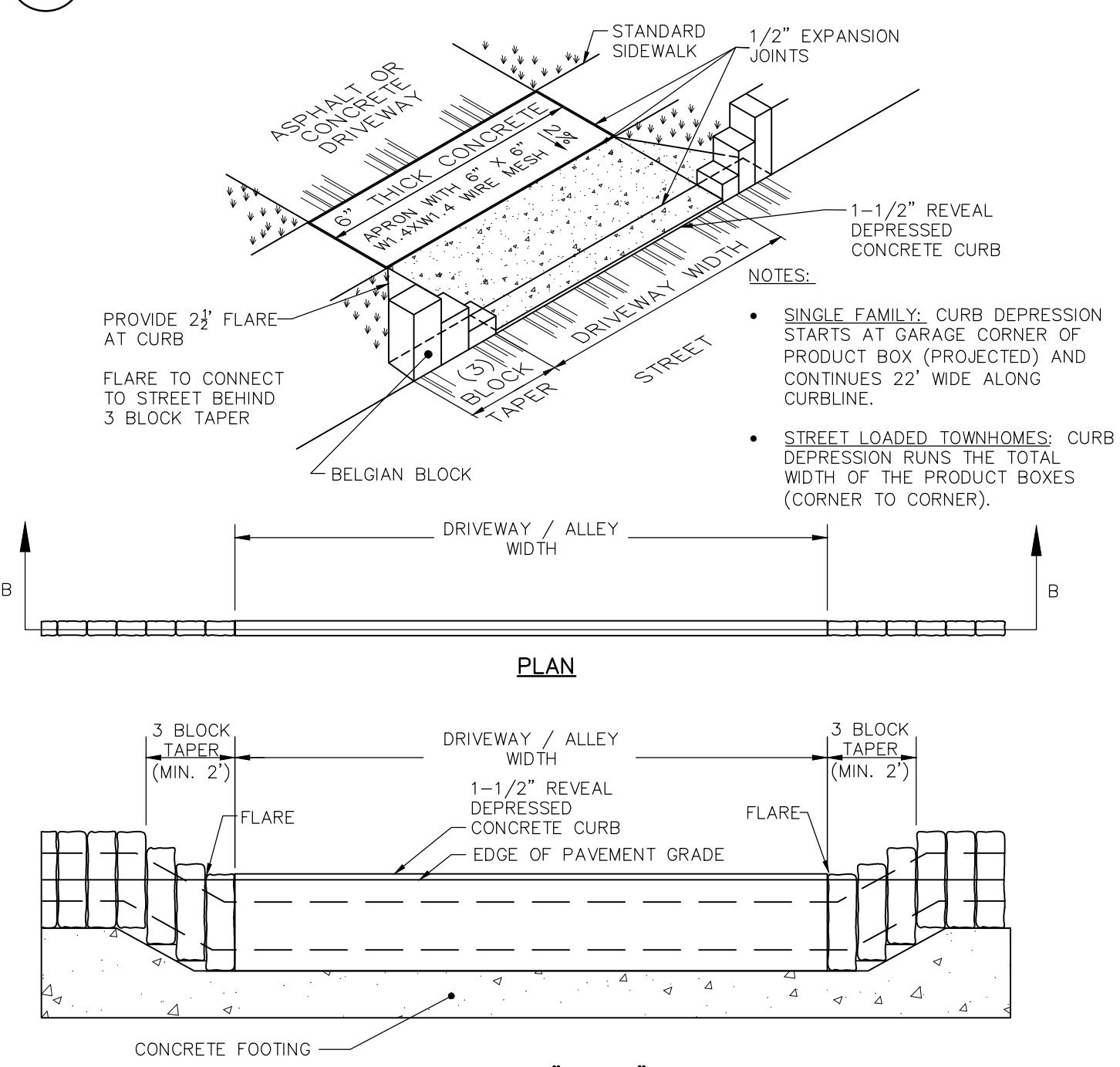
TYPICAL STREET CROSS SECTIONS			
STREET NAME	SECTION	R-O-W / Easement Width	Cartway Width
Fernie Trail	A	50'	30'
Wayfinder Avenue	A	50'	30'
Laine Way	A	50'	30'
Quinn Drive	A	50'	30'
Camille Way	A	50'	30'
Irish Way	B	30'	18'
Scots Lane	B	30'	18'
Laternpost Lane	B	30'	18'
Craftsmen Row	B	25'	18'
Flagstop Way	B	30'	18'
Locomotive Lane (North)	B	30'	18'
Locomotive Lane (South) Between Craftsmen Row & Laine Way	B	30'	18'
Locomotive Lane (South) Between Craftsmen Row & Quinn Drive	B	25'	18'
Bourm Court	C	30'	18'



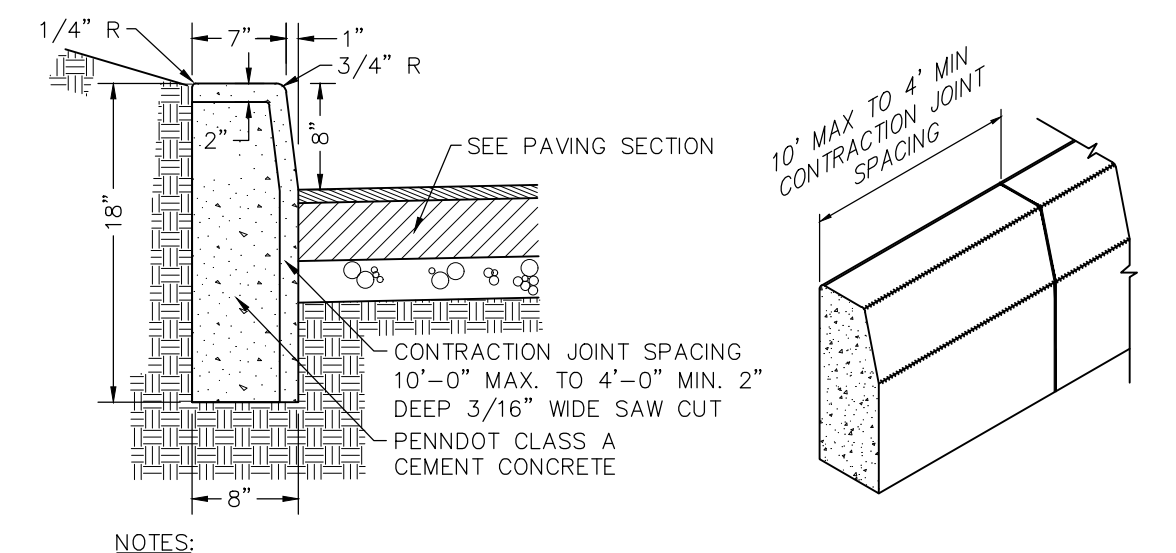
**B TYPICAL 18' PRIVATE DRIVE CROSS SECTION**  
CD-1 NOT TO SCALE



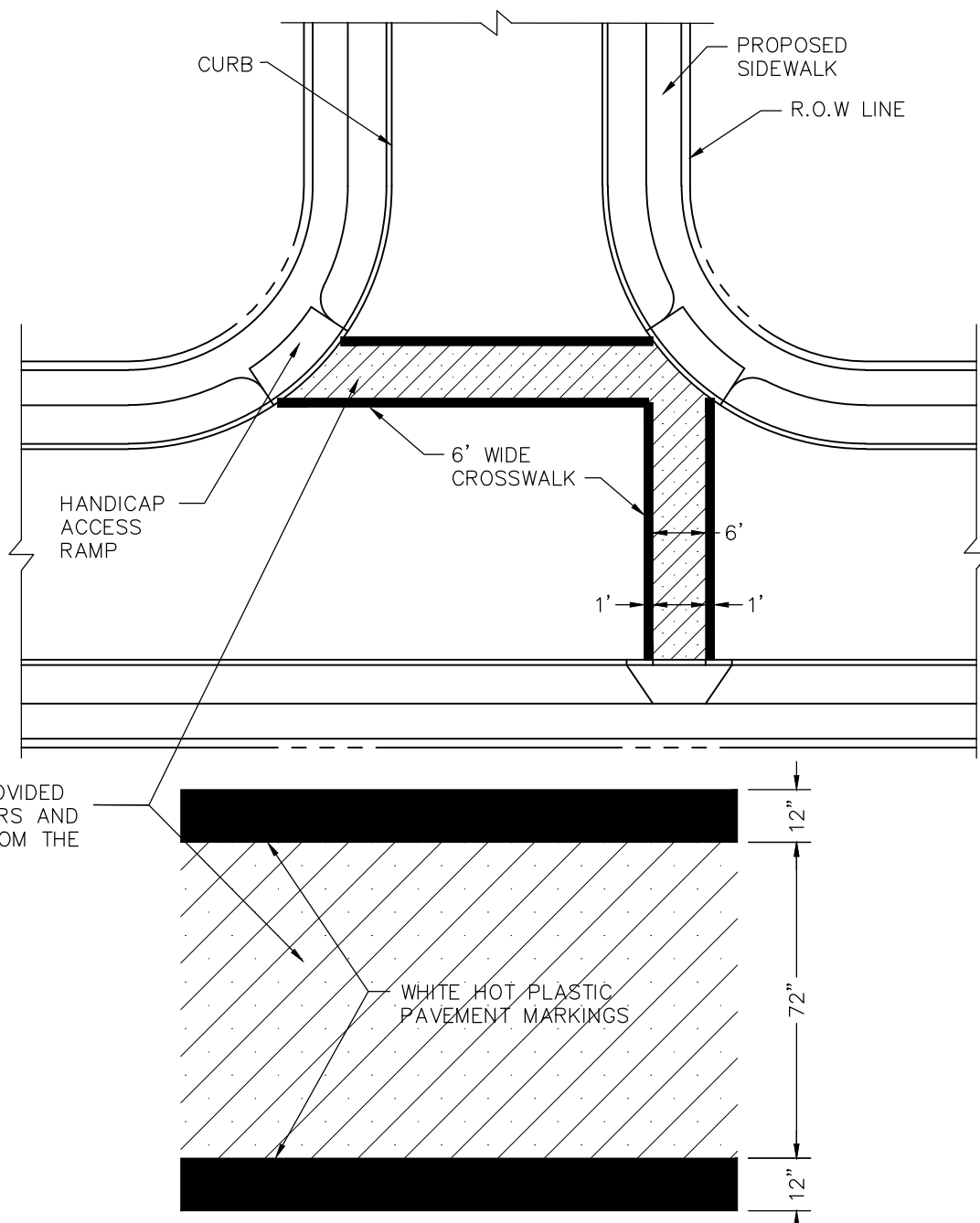
**C 18' PRIVATE DRIVE CROSS SECTION**  
CD-1 NOT TO SCALE



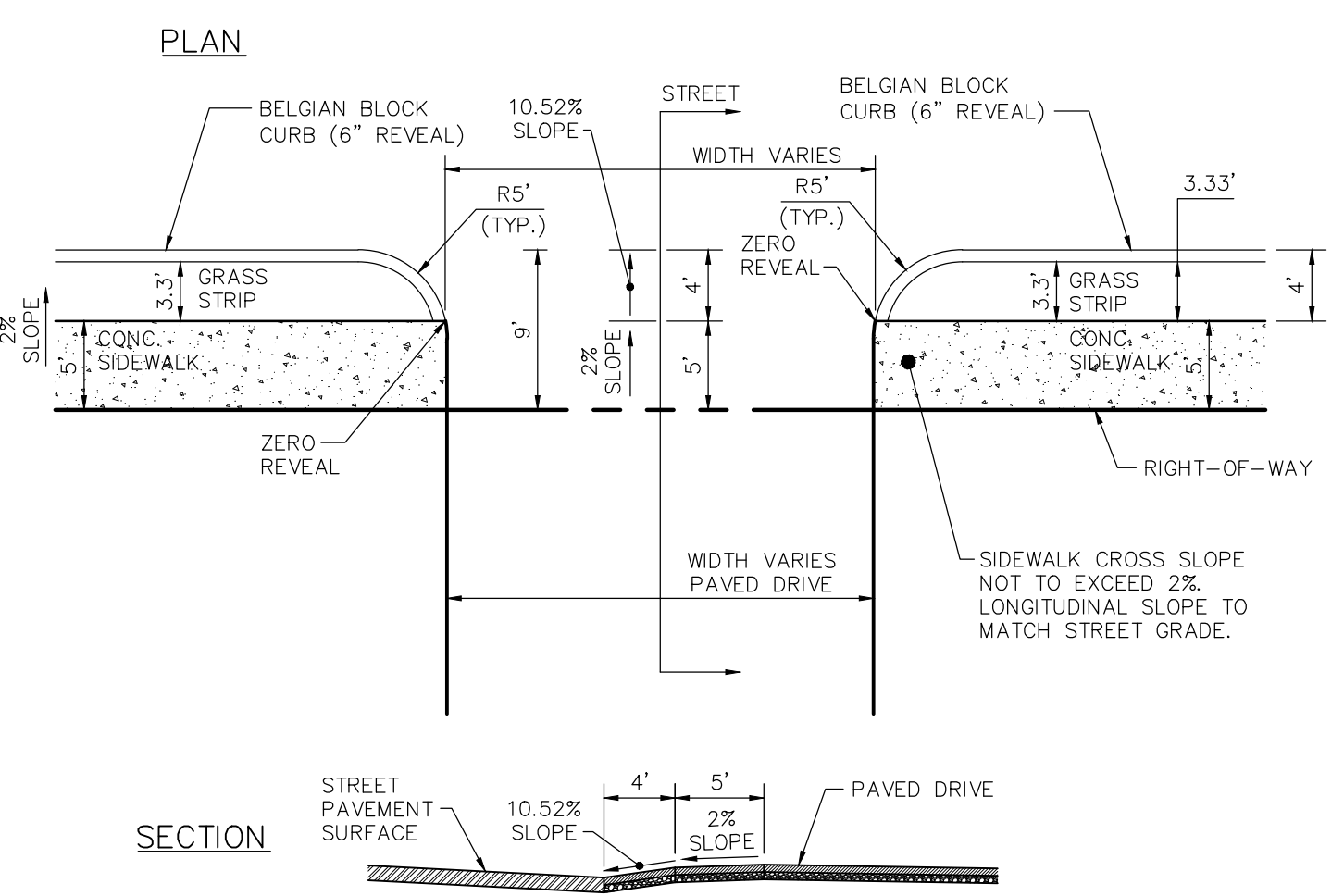
**G BELGIAN BLOCK CURB - ALLEY & DRIVEWAY CONNECTIONS**  
CD-1 NOT TO SCALE



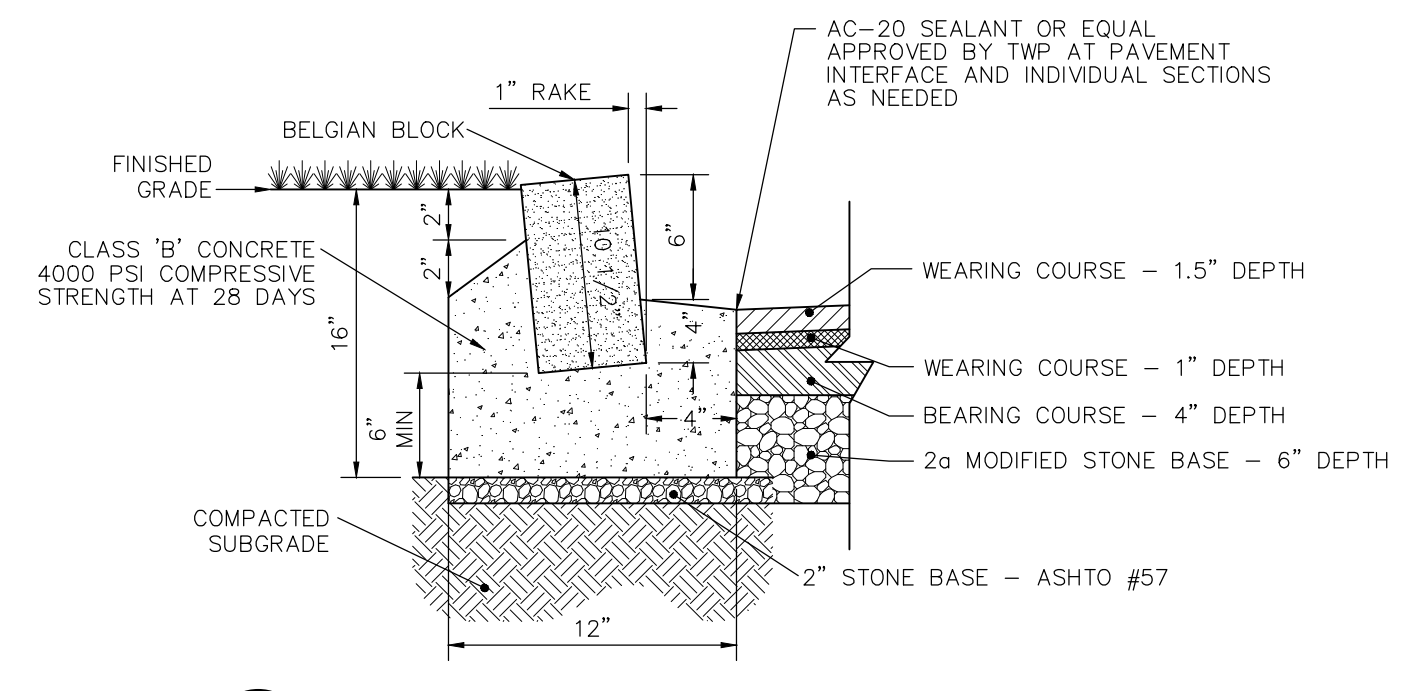
**F STRAIGHT CURB DETAILS**  
CD-1 NOT TO SCALE



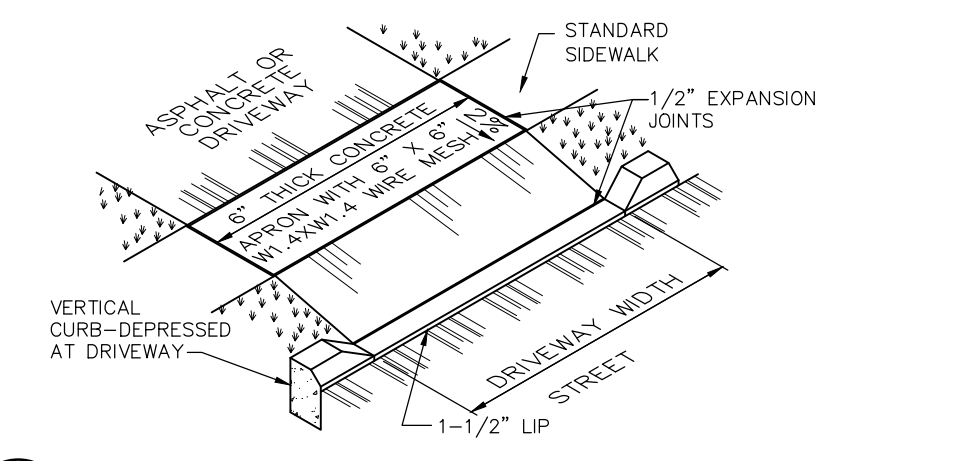
**E TYPICAL CROSSWALK DETAIL**  
CD-1 NOT TO SCALE



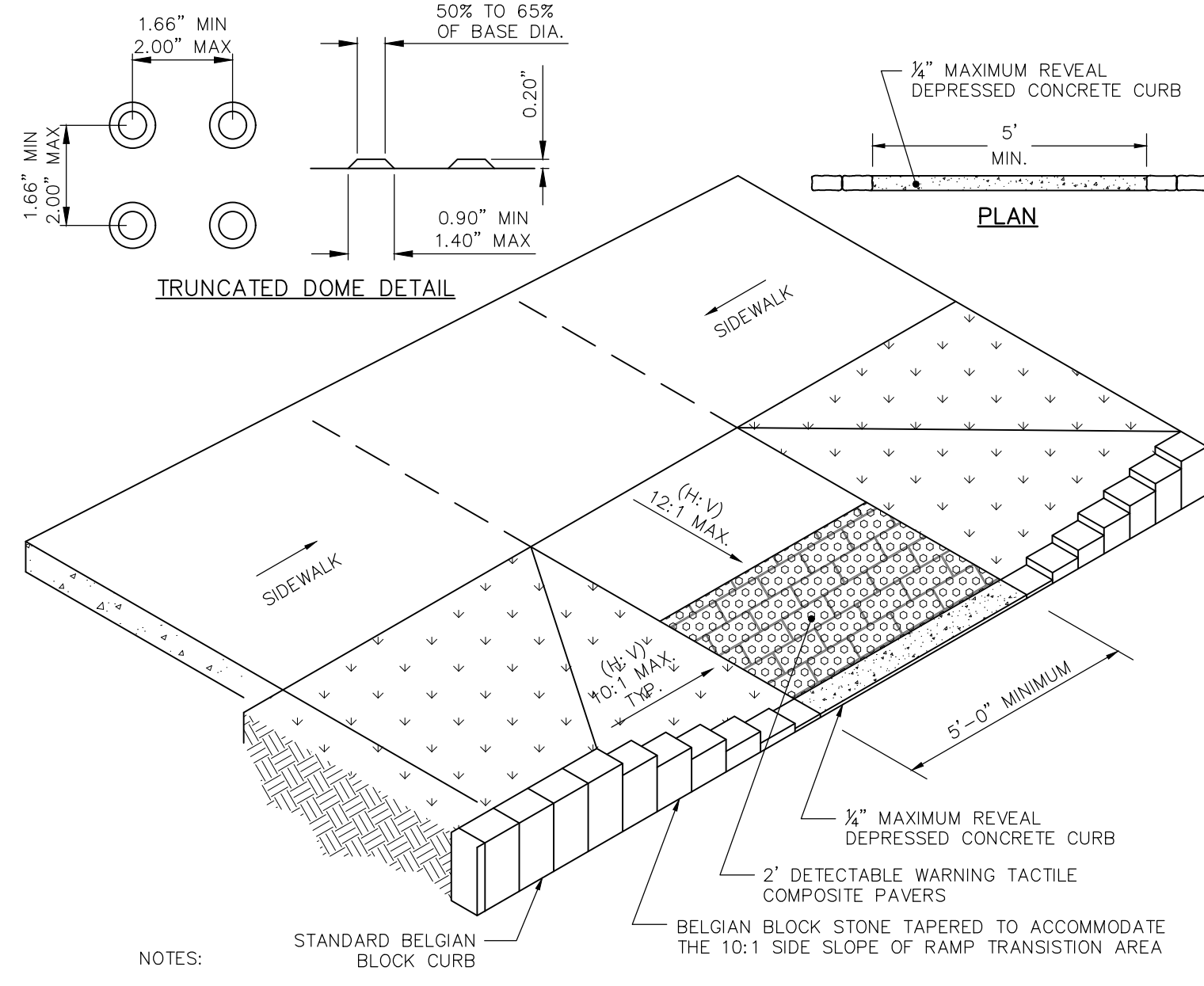
**K PRIVATE DRIVE TO PRIVATE STREET CONNECTION**  
CD-1 NOT TO SCALE



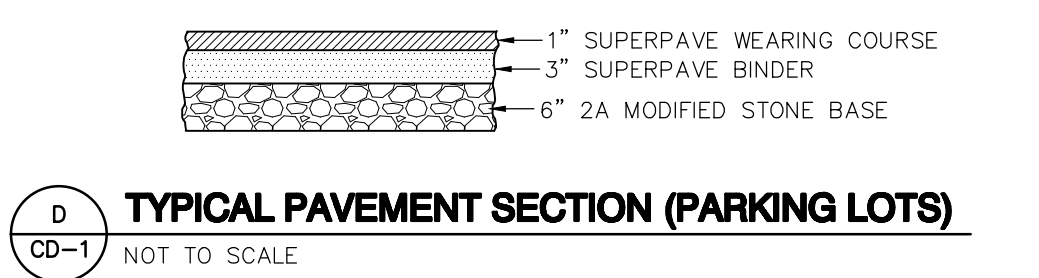
**M BELGIAN BLOCK CURB**  
CD-1 NOT TO SCALE



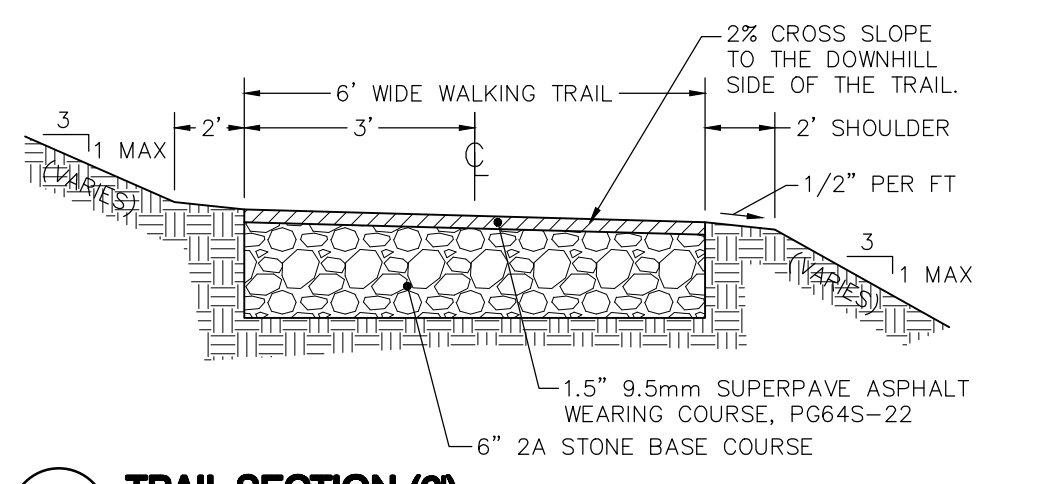
**H DRIVEWAY APRON WITH SIDEWALK**  
CD-1 NOT TO SCALE



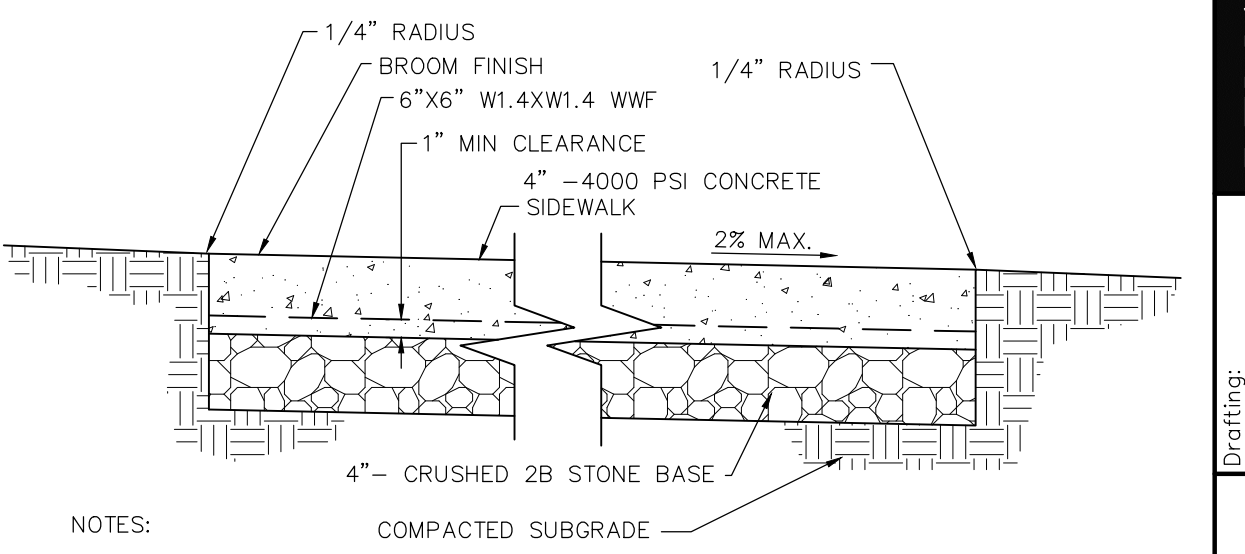
**J ACCESSIBLE CURB RAMP DETAIL**  
CD-1 NOT TO SCALE



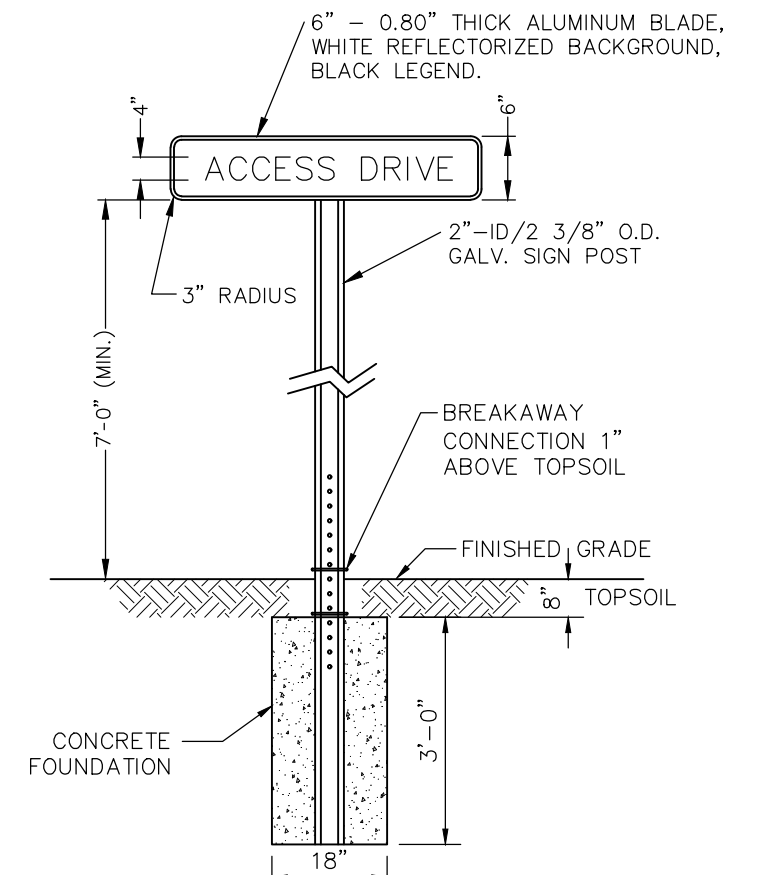
**D TYPICAL PAVEMENT SECTION (PARKING LOTS)**  
CD-1 NOT TO SCALE



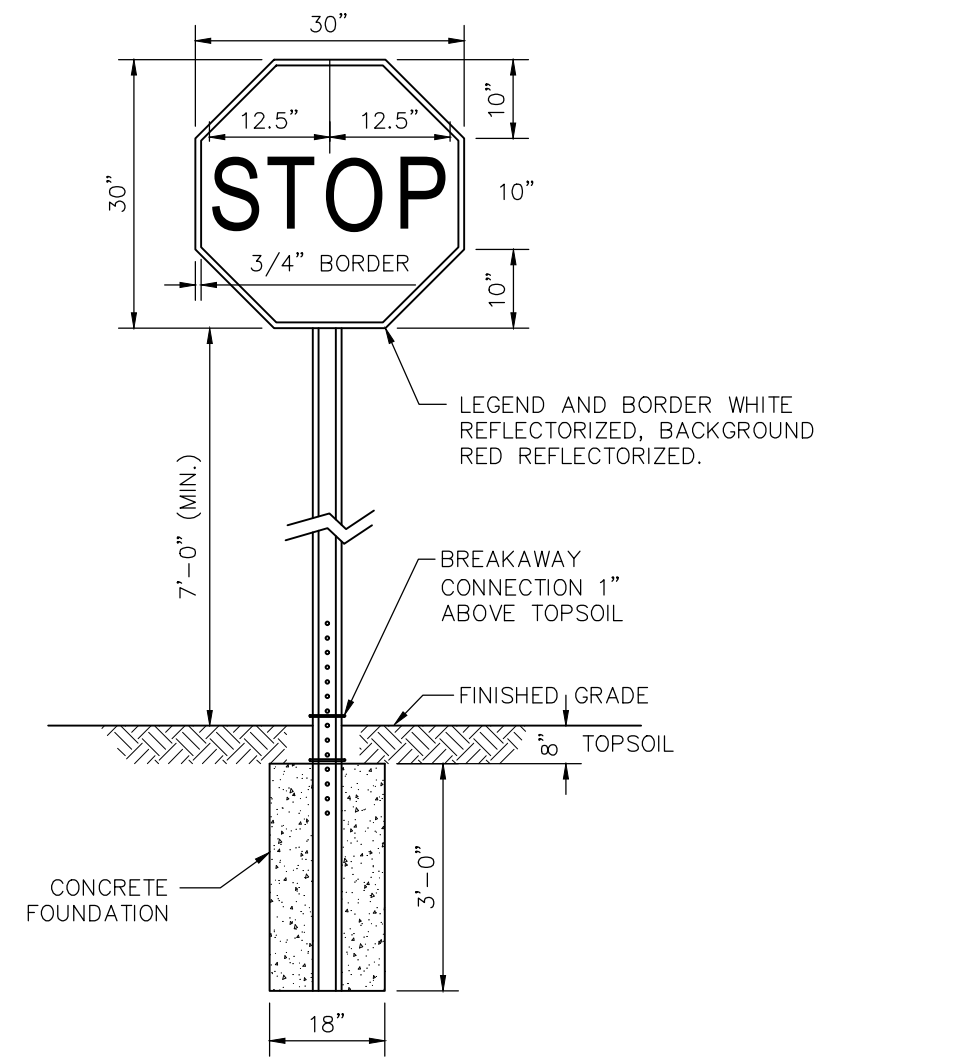
**R TRAIL SECTION (6')**  
CD-1 NOT TO SCALE



**N CONCRETE SIDEWALK DETAIL**  
CD-1 NOT TO SCALE



**O TYPICAL SIGN DETAIL**  
CD-1 NOT TO SCALE



**P TYPICAL STOP SIGN DETAIL**  
CD-1 NOT TO SCALE

**CONSTRUCTION DETAILS**

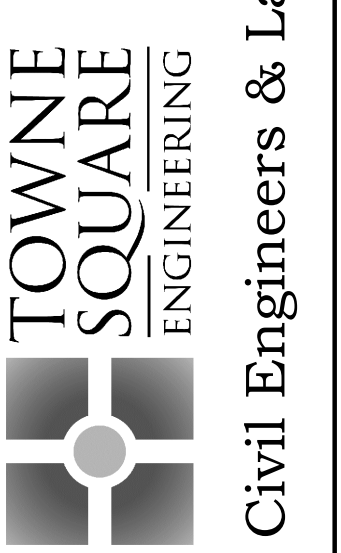
NOTE: ALL SIGNS SHALL MEET PENNDOT PUBLICATION 408 STANDARDS. ALL SIGNS SHALL MEET THE REQUIREMENTS OF SECTION 220-132.2, 220-245, 220-252, AND 220-254 OF THE TOWNSHIP ZONING ORDINANCE.



REMAINING ARONA NEIGHBORHOODS Lower Allen Township - Cumberland County, PA CHARTER HOMES & NEIGHBORHOODS

Project Manager: DAVID B. KEGERIZE PE, D. TURNER
Project Engineer: G. MITCHELL KING PE, PLS
Project Surveyor: THOMAS K. PHILLIPS PLS
Scale: AS NOTED

313 W. Liberty St., Suite 241 Lancaster, PA 17603 Phone: (717) 283-4558



Towne Square Engineering Civil Engineers & Land Planners

BUCKEYE PARTNERS, L.P. AND AFFILIATES 6161 Hamilton Boulevard Allentown, PA 18106
Right-of-Way Use Restrictions Specification Revision 7.3
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1.1 General Guidelines 2
2.0 Excavation and Construction Restrictions 3
3.0 Specific Guidelines 4
3.1 Cover, Grading, and Drainage 5
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3.1.2 Drainage 5
3.2 Aboveground and Underground Structures 6
3.2.1 General Requirements 6
3.2.2 Gardening and Landscaping 6
3.2.3 Fencing and Landscaping 6
3.3 Roads, Driveways, Sidewalks, and Parking Areas 6
3.3.1 General Requirements 6
3.3.2 Foreign Utility Crossings 7
3.4.1 General Requirements 7
3.4.2 Metallic Utilities 7
3.4.3 Non-Metallic Utilities 7
3.4.4 Underwater Line Crossings 8
3.5 Electrical, Fiber-Optic, and Communications Cables 8
3.6 Temporary Access Roads and Heavy Construction Vehicle Crossings 9
3.7 Farming and Field Use 10
3.8 Construction-Induced Vibrations 10
3.9 Blasting Operations 10
3.10 Seismic Vibrating Operations 11
3.11 Wind Turbines 12
4.0 Deviations and Exceptions 13
5.0 Additional Information and Buckeye Contacts 13
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2 Application for Design Plan Submission and Encroachment Review 15
3 Reinforced Concrete (See Detail) 19
4 Earthen Ramp Detail 20
5 Foreign Utility Trench Crossing Detail 22
6 Blasting Plan Submission Form 22
7 Excavation Safety Checklist 23

BUCKEYE PARTNERS, L.P. AND AFFILIATES 6161 Hamilton Boulevard Allentown, PA 18106
Right-of-Way Use Restrictions Specification Revision 7.3
Purpose and Scope
This Right-of-Way Use Restrictions Specification (hereinafter called "Specification") has been developed by Buckeye Partners, L.P. and Affiliates (hereinafter called "Buckeye") and is intended for landowners, utility owners, general contractors and other sub-contractors, pipeline/utility contractors, real estate developers, brokers and agents and/or other independent underwriters, engineers, architects, surveyors, and local / governmental elected staffs (hereinafter called "Crossing Party") as a guideline for the design and construction of proposed projects.

BUCKEYE PARTNERS, L.P. AND AFFILIATES 6161 Hamilton Boulevard Allentown, PA 18106
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Right-of-Way Use Restrictions Specification Revision 7.3
Purpose and Scope
This Right-of-Way Use Restrictions Specification (hereinafter called "Specification") has been developed by Buckeye Partners, L.P. and Affiliates (hereinafter called "Buckeye") and is intended for landowners, utility owners, general contractors and other sub-contractors, pipeline/utility contractors, real estate developers, brokers and agents and/or other independent underwriters, engineers, architects, surveyors, and local / governmental elected staffs (hereinafter called "Crossing Party") as a guideline for the design and construction of proposed projects.

BUCKEYE PARTNERS, L.P. AND AFFILIATES 6161 Hamilton Boulevard Allentown, PA 18106
Right-of-Way Use Restrictions Specification Revision 7.3
Purpose and Scope
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Attachment 1: State One Call Systems (National One Call System - Dial 811)
Table with columns: State, One Call Program, Phone No., Website
Alabama: Alabama 811 (800) 297-8925 www.811.org
California - North: USA North of Central / Northern California & Nevada (800) 227-2600 www.usa811.org

Attachment 2: Application for Design Plan Submission and Encroachment Review
INSTRUCTIONS
Prior to completing the following Application for Design Plan Submission and Encroachment Review (application), please review these instructions to determine if an application is required and to ensure that all necessary information has been obtained.

REMAINING ARONA NEIGHBORHOODS  
Lower Allen Township - Cumberland County, PA  
CHARTER HOMES & NEIGHBORHOODS  
CONSTRUCTION DETAILS

Drafting: D TURNER  
Checked By: K POSTLETHWAIT  
Project Engineer: C MITCHELL KING PE, PLS  
Scale: AS NOTED  
Project Surveyor: THOMAS K. PHILLIPS PLS

313 W. Liberty St.,  
Suite 241  
Lancaster, PA 17603  
Phone: (717) 283-4538  
TOWNE SQUARE ENGINEERING  
Civil Engineers & Land Planners

DATE	REVISIONS
1/19/26	REVISED FOR CH&N CHANGES
2/10/26	ADDRESS CORP. & TWP. ENG. COMMENTS
2/24/26	UPDATE PLAN TO REMOVE NEIGHBORHOOD 7
3/27/26	ADDRESS TWP. ENG. LTR. DATED 3/19/26

**Application for Design Plan Submission and Encroachment Review**  
PROJECT INFORMATION & LOCATION  
**BUCKEYE PARTNERS, L.P.**

Project Title: \_\_\_\_\_  
Project Address: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip Code: \_\_\_\_\_  
Latitude: \_\_\_\_\_ Longitude: \_\_\_\_\_ Municipality: \_\_\_\_\_ County: \_\_\_\_\_

APPLICANT INFORMATION:  
Name and Title of Applicant: \_\_\_\_\_  
Company: \_\_\_\_\_ Email Address: \_\_\_\_\_ Phone Number: \_\_\_\_\_  
Address: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip Code: \_\_\_\_\_

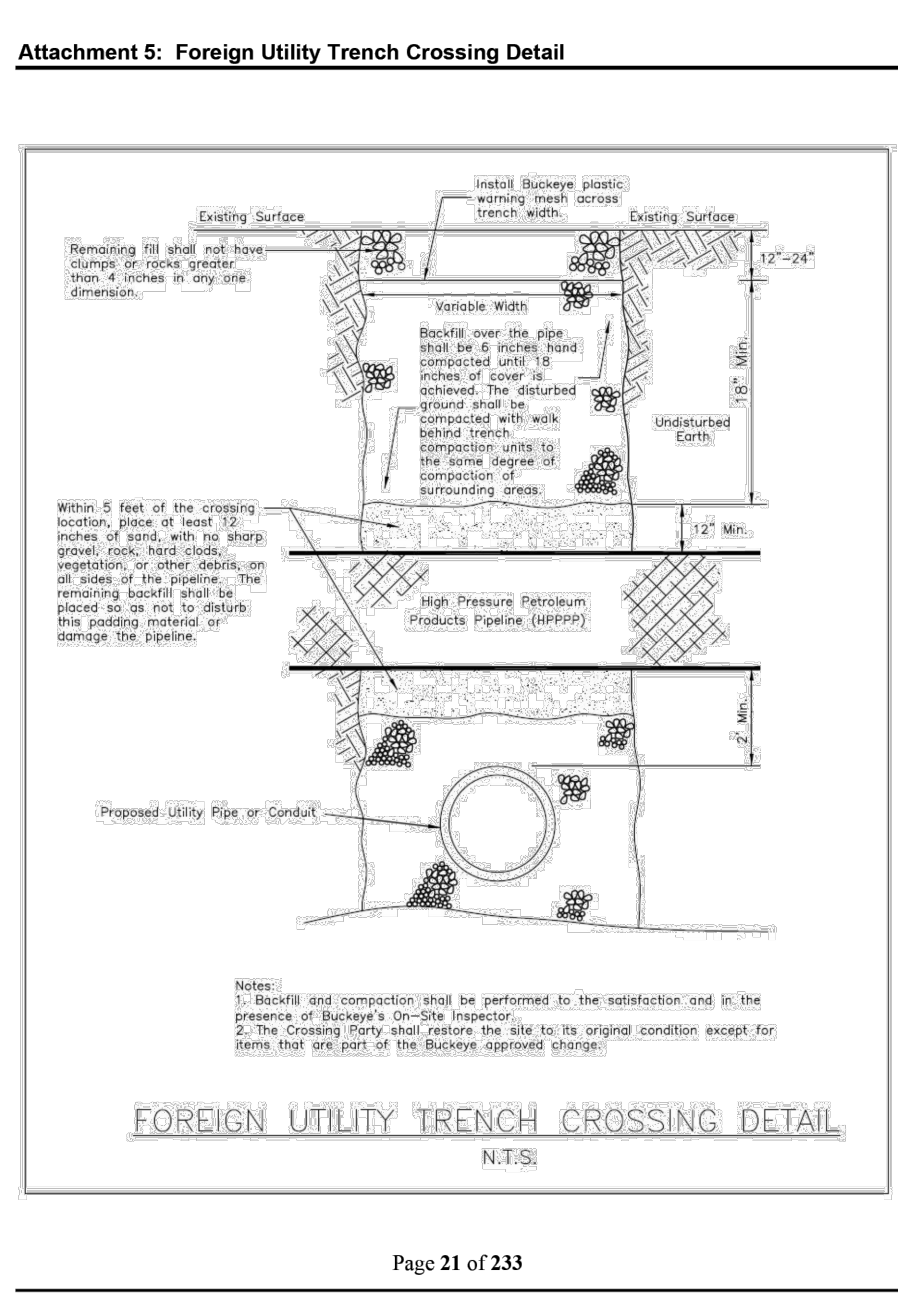
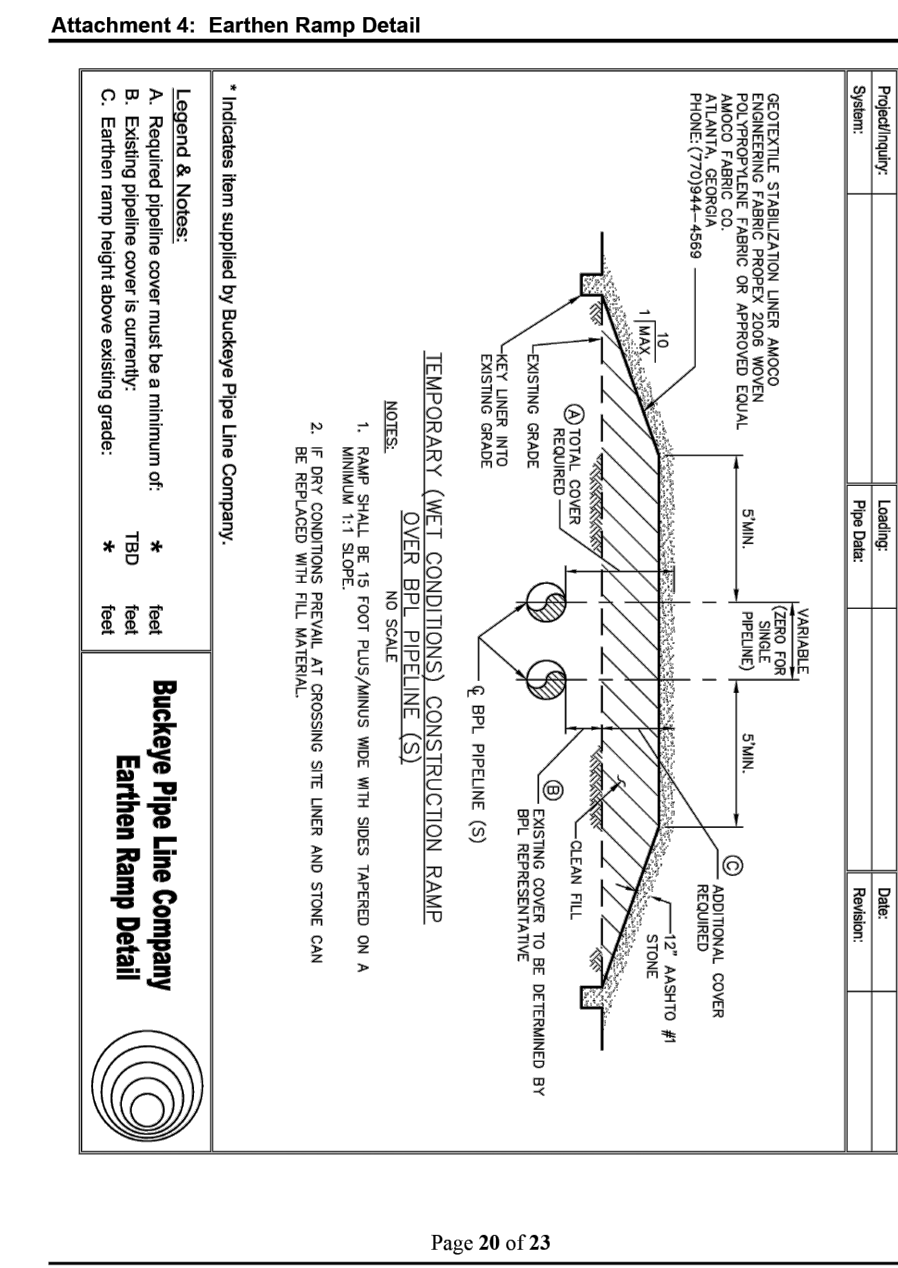
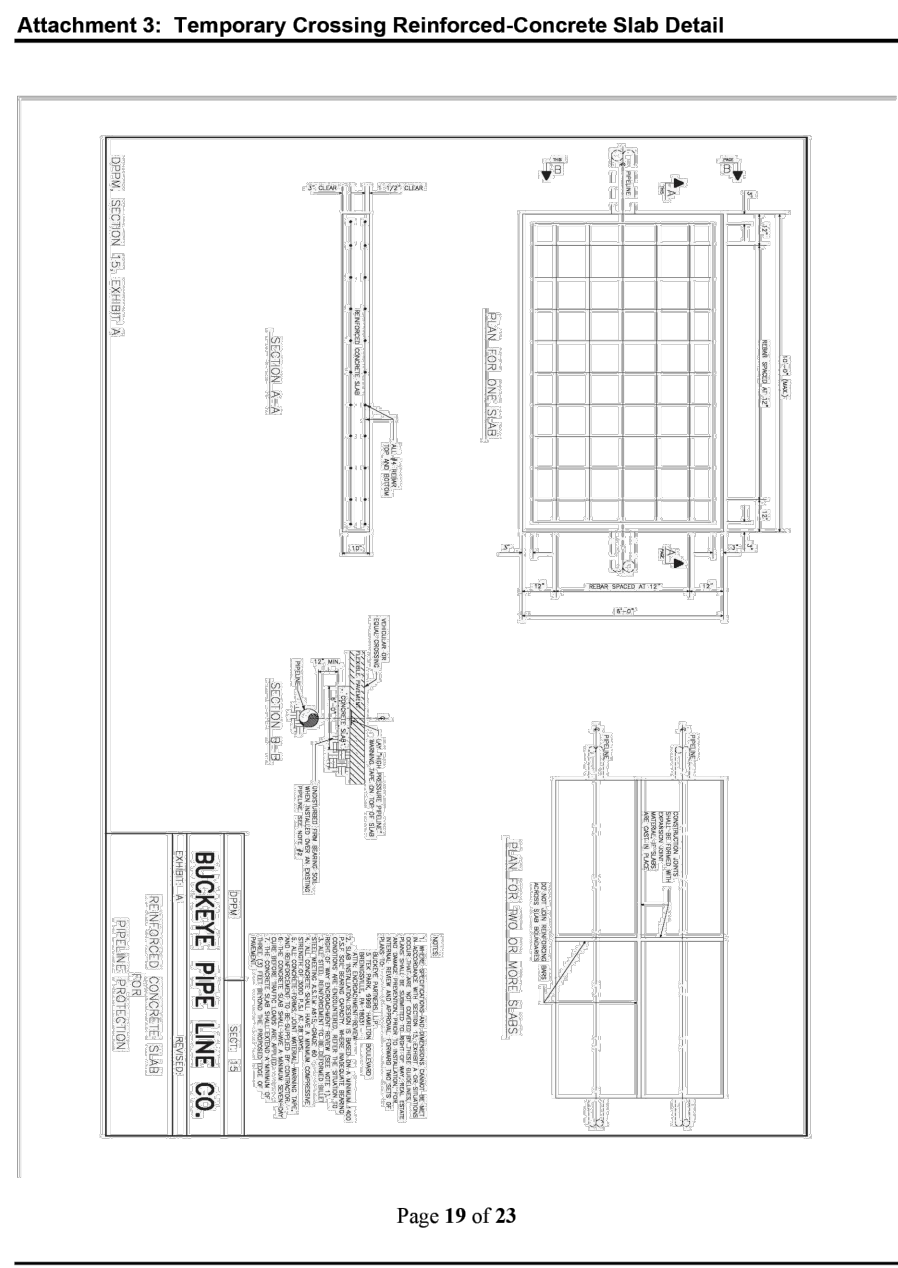
LEGAL NAME OF INDIVIDUAL, COMPANY, OR ENTITY TO WHICH PERMISSION WILL BE GRANTED:  
Name: \_\_\_\_\_ Name and Title of authorized signatory for company or entity: \_\_\_\_\_  
Address: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip Code: \_\_\_\_\_  
Email Address: \_\_\_\_\_ Fax Number: \_\_\_\_\_

PROJECT INVOLVES THE FOLLOWING IMPACTS TO BUCKEYE'S FACILITIES (CHECK ALL THAT APPLY):  
 Cover, grading, and drainage pattern changes  
 Aboveground and/or underground structures  
 Road, driveway, sidewalks, and parking areas  
 Utility crossings including gas, water (sewer), sewer (storm/sanitary) - include trench backfill detail  
 Electrical, fiber-optic, and communications cables  
 Temporary access roads for the crossing of heavy construction equipment  
 Railroad crossings  
 Farming and field tile  
 Construction-induced vibrations  
 Blasting operations (attach **BLASTING PLAN**)  
 Seismic vibrating operations (attach **SEISMIC VIBRATING PLAN**)  
 Exposure of the pipeline (attach **SUPPORT PLAN**)  
 Boring, drilling, or tunneling near the pipeline (attach **DRILL PLAN**)  
 Other: \_\_\_\_\_ Page 2 of 4

APPLICATION MUST CONTAIN THE FOLLOWING:  
 Completed and Signed "Application for Design Plan Submission and Encroachment Review" Form  
 Encroachment Application Fee\*\* (see guidelines on page 1 of the application)  
 Design Plans (1 paper copy, 1 electronic copy), depicting the following:  
 Fields-verified location of Buckeye pipeline(s) location and width of Buckeye's easement tract  
 Name of Buckeye Employee \_\_\_\_\_ Date of Pipeline Locating Activity \_\_\_\_\_ Design One Call No. \_\_\_\_\_  
 Fields-verified depth of Buckeye pipeline(s) along all proposed road or utility crossings, drainage channels, and all other areas of proposed grade change within the pipeline right-of-way (attach a copy of any field data provided by Buckeye Representative)  
 Name of Buckeye Employee \_\_\_\_\_ Date of Pipeline Depth Investigation \_\_\_\_\_  
 Buckeye pipeline(s) labeled "\_\_\_\_\_-inch High Pressure Petroleum Products Pipeline" (line type "HPPPP")  
 Buckeye included on Utilities List, and Local Contact and phone number on plans  
 Buckeye Pipeline(s) highlighted in yellow. List all plan sheets on which Buckeye facilities are located:  
 Location of ground disturbances (blasting, seismic testing, pile driving, jackhammering, etc. within 1,500 feet of Buckeye pipeline(s))  
 Proposed location(s) where construction equipment will cross the pipeline right-of-way  
 Structure setback distances from the pipeline right-of-way and from the nearest pipeline  
 Proposed landscaping within 25 feet of either side of the pipeline(s)  
 Any permanent fencing that will limit/cumbar Buckeye's access to the pipeline right-of-way  
 If the drainage pattern will be altered in any way over the Buckeye pipeline(s), a drainage plan that identifies new flow paths and all interflow/drainage points  
 Right-of-Way Use Restrictions specification pages 1-13 included as part of final design plan (can be done by adding a drawing sheet to plans and appending (cut and paste) the specification onto this sheet)  
 Separate plan and profile drawing of Buckeye pipeline(s) for existing and proposed conditions.  
 Subgrade details that show materials and thickness of each paving layer/course.  
 Amount of existing cover that will be removed or new cover added over the pipeline(s), and proposed final grade amount of cover over the pipeline(s).  
 Clearances between Buckeye's pipeline(s) and any existing and new (buried or overhead) utilities that cross the pipeline right-of-way.  
 Show the clearances between Buckeye's pipeline(s) and each proposed substructure at the two closest reference points.  
 For any utility to be installed via boring, drilling, or tunneling, include a detailed procedure of this work with your design plans. Note: "Blind" boring is not permitted. Buckeye's pipeline(s) must be exposed during the bore operation to ensure that the bore head crosses safely underneath the pipeline(s). Page 3 of 4

Indicate any areas of disturbance or other work that will require Buckeye's pipeline(s) to be exposed in order to perform your work.  
 Supplemental Plan Information (as applicable)  
 Blasting Vibrating Plan  
 Seismic Vibrating Plan  
 Support Plan  
 Drill Plan

I hereby authorize Buckeye to contact the Engineer/Survey firm which prepared the drawings, survey and attachments.  
I certify that the information provided is accurate and I realize that incomplete information may delay processing or invalidate this application.  
Signature of Applicant: \_\_\_\_\_  
By: \_\_\_\_\_ Date: \_\_\_\_\_  
Name: \_\_\_\_\_ Title: \_\_\_\_\_  
PAYMENT INFORMATION (APPLICANT TO COMPLETE)  
Check Number: \_\_\_\_\_  
Payment Amount: \$ \_\_\_\_\_ Page 4 of 4



Attachment 6: Blasting Plan Submission Form

**INFORMATION SECTION**  
Blasting Contractor - \_\_\_\_\_ Contracted by: \_\_\_\_\_  
Company Name: \_\_\_\_\_ Company Name: \_\_\_\_\_  
Phone: \_\_\_\_\_ Address: \_\_\_\_\_  
Email Address: \_\_\_\_\_  
Contact Person: \_\_\_\_\_ Contact Person: \_\_\_\_\_  
Project Name: \_\_\_\_\_  
Address: \_\_\_\_\_  
Latitude: \_\_\_\_\_  
Longitude: \_\_\_\_\_  
Location and Distance (in feet) to Nearest Buckeye Pipeline: \_\_\_\_\_  
Date of Blasting: \_\_\_\_\_

**EXPLOSIVES SECTION**  
Type of Explosives: \_\_\_\_\_  
Max. Charge / Hole (lbs): \_\_\_\_\_  
Charge Delay (ms): \_\_\_\_\_  
No. of Holes: \_\_\_\_\_  
Max. Depth of Charge (ft): \_\_\_\_\_  
Max. Diameter of Charge (in): \_\_\_\_\_  
**Calculated Particle Velocity at a point:**  
Depth of Blast Area (ft): \_\_\_\_\_ 300 feet from blasting event (in/sec)  
Depth of Overburden (ft): \_\_\_\_\_ 200 feet from blasting event (in/sec)  
Type of Rock to be Blasted: \_\_\_\_\_ 100 feet from blasting event (in/sec)  
Density of Rock (lbs/cu ft): \_\_\_\_\_ Directly above pipeline (in/sec) @ \_\_\_\_\_ ft

**ATTACHMENT CHECKLIST**  
 Drilling/Blasting Pattern Sketch - include all depths, measurements, and delay patterns relative to Buckeye facility involved and each charge.  
 State Approved Letter  
 Blasting Contractor's Qualifications  
 Blasting Contractor's Insurance Certificate  
 Blasting Contractor's Safety Plan  
**OMISSION OF ANY INFORMATION REQUESTED ABOVE WILL DELAY YOUR BLASTING PLAN REVIEW**  
Buckeye requires a minimum of 14 days for technical review upon receipt of complete and accurate blasting plans.

Attachment 7: Excavation Safety Checklist  
DPPM Section 7, FORM A - EXCAVATION SAFETY CHECKLIST

The information noted on this form is intended to communicate general information about our operations and is not intended to be solely relied upon by any party for the purpose of excavation or any similar purpose.  
By law, to make all participating utilities time to mark their facilities, the One Call Center in your state requires notification by calling 811 prior to any excavation. Buckeye Partners, L.P. is a member of the One Call Center and will automatically be notified through this system. In addition, a Buckeye Pipeline and Terminal Protector will perform an/or review with the excavator representative the applicable checklist items below.

**Pipeline Locate Activity:**  
 If plans are available, requested a copy of the written project plans and drawings for review with the excavator and/or engineer. Had the excavator and/or engineer explain the extent of the work area, location and depth of the excavation, type of proposed utilities, location of proposed utilities, number of utility crossings, etc.  
 Established the pipeline(s) location and marked the line(s) per the One Call requirements throughout the entire work area.  
 Photographed all established pipeline markings throughout the work area.

**Communication with the Excavator and/or Engineer:**  
 The excavator and/or engineer was advised that a Buckeye Pipeline and Terminal Protector must:  

- Be a qualified Buckeye Pipeline and Terminal Protector.
- Monitor the excavation site daily when work is performed within 25 feet of a Buckeye pipeline.
- Observe continuously at excavation and backfill activity performed within 25 feet of a Buckeye pipeline or during the installation of any utility across a Buckeye pipeline facility.
- In addition, the excavator was instructed to call 800-331-4115 if they were ready to excavate within either above distance of a Buckeye pipeline and a Buckeye Pipeline and Terminal Protector was not present. When called a Buckeye Pipeline and Terminal Protector will be sent to perform the inspection, which is free of charge.

 The excavator was advised that only buckets or trackhoes with a steel plate welded across the teeth of the bucket are permitted to be used during excavation work around a Buckeye pipeline.  
 The excavator was advised that before any exposed Buckeye pipeline can be backfilled, the Buckeye Pipeline and Terminal Protector will direct the placement of a strong warning mesh to prevent workers from over the pipeline.  
 The excavator was advised that any contact with the pipeline, pipeline coating, test station wiring, or anode beds must be reported to Buckeye prior to backfilling the excavation to permit further inspection of the damage to ensure continued safe pipeline operation.  
 The excavator was advised that failure to comply with the conditions outlined above would result in Buckeye requiring the excavator to expose the pipeline again to allow an examination of the pipeline at the excavator's expense. If damage to the pipeline is discovered, Buckeye may seek monetary compensation for all repair costs. Buckeye may also report this activity to all concerned parties (State One Call Center, Regulatory Agencies, Principal Contractor, Excavator's Insurance Company, etc.).

If you are unable to reach the Buckeye Pipeline and Terminal Protector designated below, or in case of an emergency, request assistance as follows:  
For excavation activities in CT, FL, IL, IA, IN, LA, MA, MD, MI, MN, NY, OH, PA, RI, VA, WI, WA, and WV, please call 1-800-331-4115.  
For excavation activities in AL, AR, CA, CO, DE, HI, KY, NC, ND, SC, TN, TX, VA, and Southern California, please call 1-800-514-8380.  
For excavation activities in Northern California, please call 1-800-367-1017.

One Call Ticket:	Line Segments:
Work Order: _____	Mile Posts: _____
Address: _____	
Date: _____	Name: _____
Name: _____	Phone: _____
Cell Phone: _____	Signature: _____

Page 23 of 23

Engineering and Construction Guidelines REV 3 10\_2\_15 Page 1 Sunoco Logistics ENGINEERING AND CONSTRUCTION GUIDELINES For working near the Sunoco Pipeline L.P. Right-of-Way, Pipelines, and Facilities

Engineering and Construction Guidelines REV 3 10\_2\_15 Page 2 Sunoco Logistics ENGINEERING AND CONSTRUCTION GUIDELINES For working near the pipeline right-of-way and pipeline

Engineering and Construction Guidelines REV 3 10\_2\_15 Page 3 Sunoco Logistics APPLICATION FOR ENCROACHMENT REVIEW SUNOCO LOGISTICS L.P.

Engineering and Construction Guidelines REV 3 10\_2\_15 Page 4 Sunoco Logistics SUBMIT PLANS TO: Sunoco Logistics L.P. 525 Fritzdorf Road, Slating Spring, Pa 19688

Engineering and Construction Guidelines REV 3 10\_2\_15 Page 5 Sunoco Logistics ENGINEERING AND CONSTRUCTION GUIDELINES For working near the pipeline right-of-way and pipeline

Engineering and Construction Guidelines REV 3 10\_2\_15 Page 6 Sunoco Logistics ENGINEERING AND CONSTRUCTION GUIDELINES For working near the pipeline right-of-way and pipeline

Engineering and Construction Guidelines REV 3 10\_2\_15 Page 7 Sunoco Logistics ENGINEERING AND CONSTRUCTION GUIDELINES For working near the pipeline right-of-way and pipeline

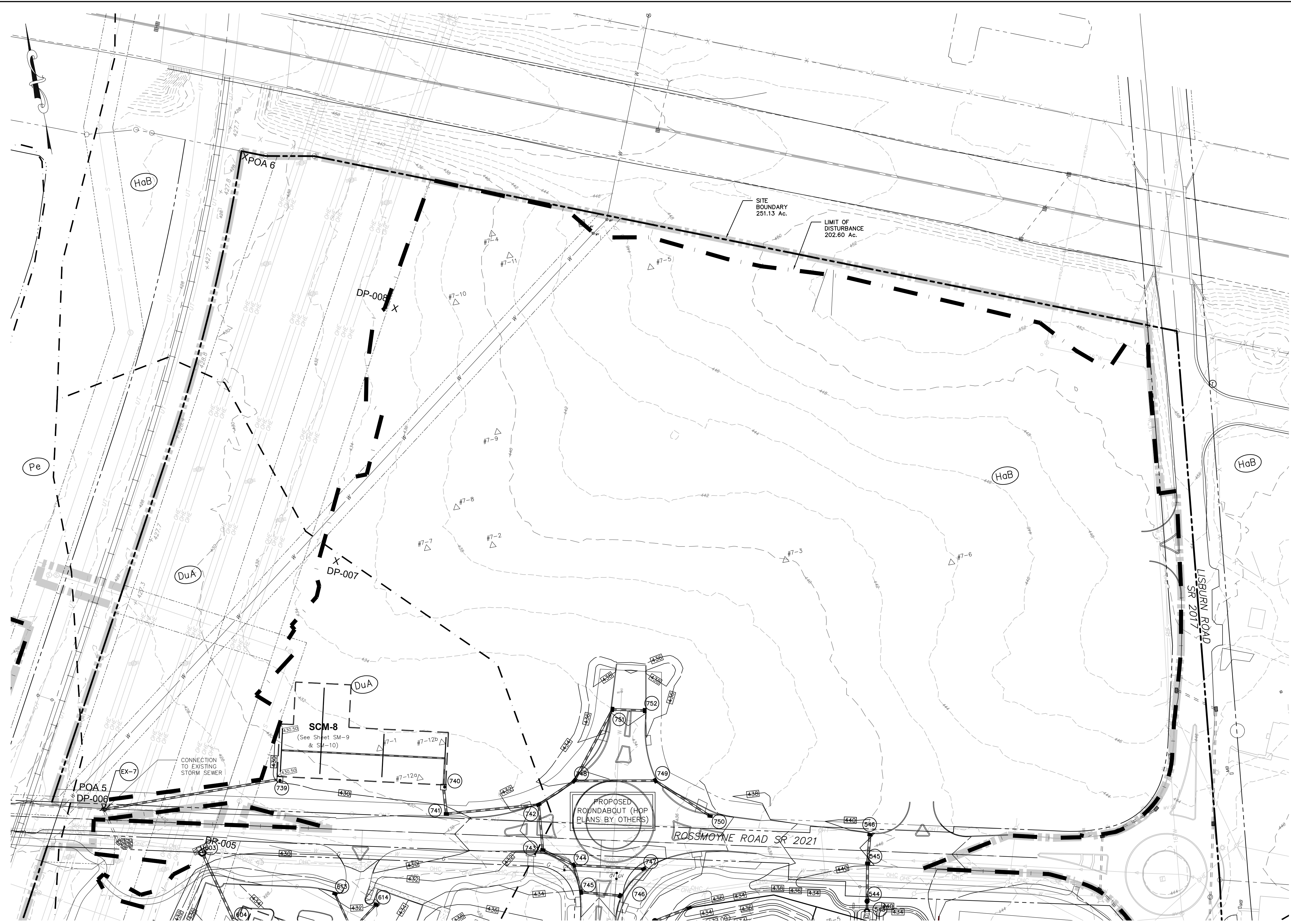
Engineering and Construction Guidelines REV 3 10\_2\_15 Page 8 Sunoco Logistics ENGINEERING AND CONSTRUCTION GUIDELINES For working near the pipeline right-of-way and pipeline

Engineering and Construction Guidelines REV 3 10\_2\_15 Page 9 Sunoco Logistics ENGINEERING AND CONSTRUCTION GUIDELINES For working near the pipeline right-of-way and pipeline

Engineering and Construction Guidelines REV 3 10\_2\_15 Page 10 Sunoco Logistics ENGINEERING AND CONSTRUCTION GUIDELINES For working near the pipeline right-of-way and pipeline

Engineering and Construction Guidelines REV 3 10\_2\_15 Page 11 Sunoco Logistics ENGINEERING AND CONSTRUCTION GUIDELINES For working near the pipeline right-of-way and pipeline

Engineering and Construction Guidelines REV 3 10\_2\_15 Page 12 Sunoco Logistics ENGINEERING AND CONSTRUCTION GUIDELINES For working near the pipeline right-of-way and pipeline



Sheet Number:  
**57 of 81**  
 Project Number:  
**15-100-35**  
 Date:  
**DECEMBER 17, 2025**

**REMAINING ARCONA NEIGHBORHOODS**  
 Lower Allen Township - Cumberland County, PA  
 CHARTER Homes & Neighborhoods

Project Manager:  
**DAVID B. KEGERIZE PE**  
 Project Engineer:  
**G. MITCHELL KING PE, PLS**  
 Project Surveyor:  
**THOMAS K. PHILLIPS PLS**

Drafting:  
**D TURNER**  
 Checked by:  
**K POSTLETHWAIT**  
 Scale:  
**1"=50'**

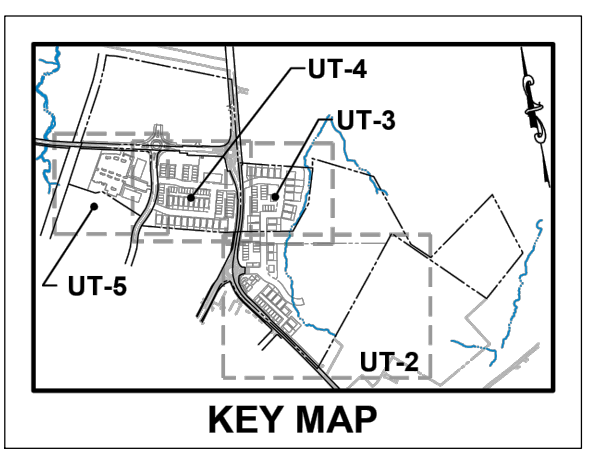
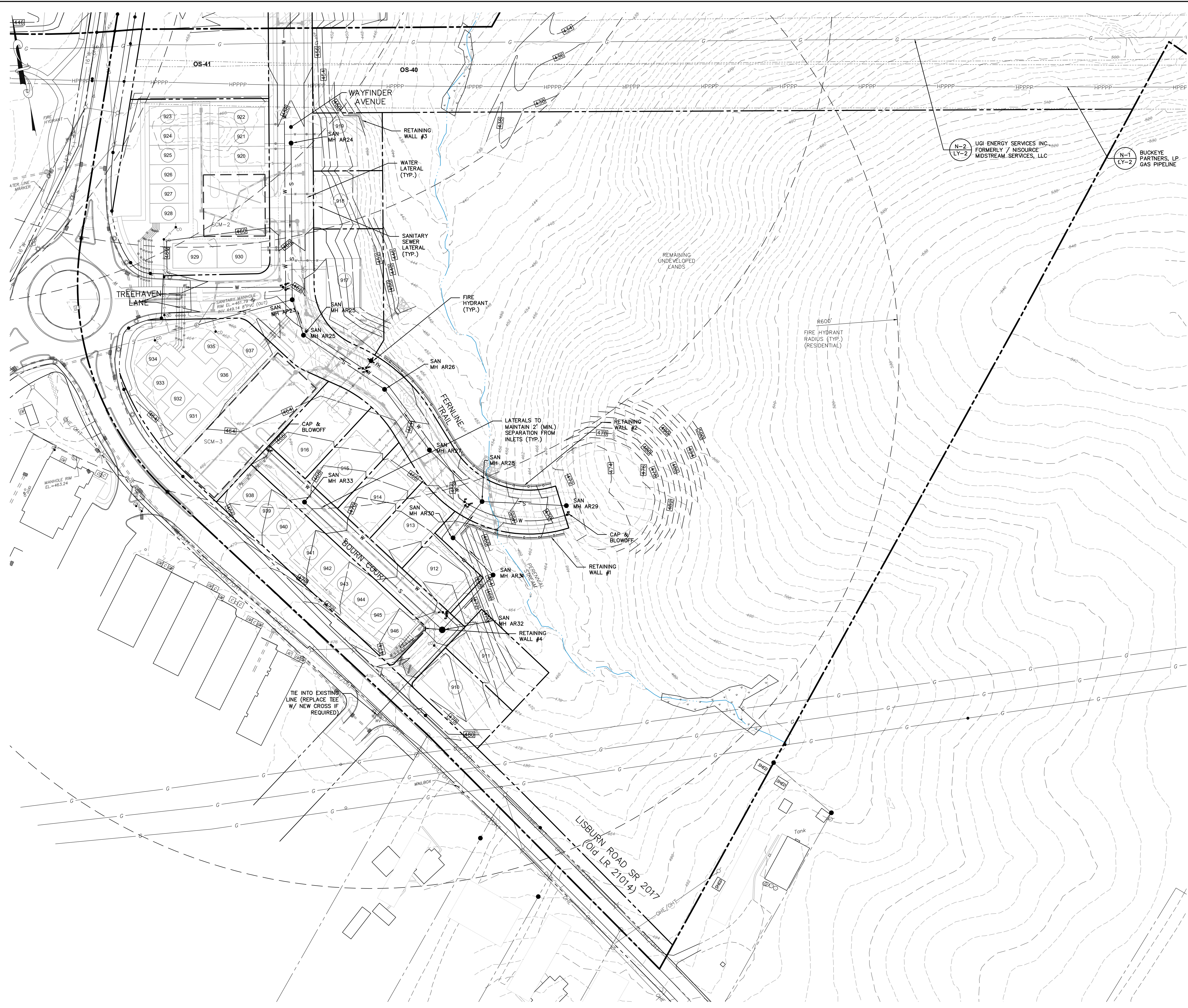
Seal:  
  
**G. MITCHELL KING**  
 ENGINEER  
 No. 1000000000  
 STATE OF PENNSYLVANIA

313 W. Liberty St.,  
 Suite 241  
 Lancaster, PA 17603  
 Phone: (717) 283-4538  
**TOWNE SQUARE**  
 ENGINEERING  
**Civil Engineers & Land Planners**  
 info@townesquareengineering.com

Section Number:  
**GR-1**

3/27/26 ADDRESS TWP. ENG. LTR. DATED 3/19/26  
 2/24/26 UPDATE PLAN TO REMOVE NEIGHBORHOOD 7  
 2/10/26 ADDRESS CCPD & TWP. ENG. COMMENTS  
 1/19/26 REVISED FOR CH&N CHANGES  
 DATE REVISIONS





**PAWC NOTES:**

1. PRIOR TO COMMENCEMENT OF WATER MAIN INSTALLATION THE LOCAL PAWC MANAGER FOR THE PROJECT SHALL BE PROVIDED WITH A WORK PROGRESS/TIMING SCHEDULE IN ADVANCE OF ANY AND ALL WORK TO ALLOW FOR INSPECTOR SCHEDULING.
2. ALL SERVICES FROM MAIN TO METER PIT ARE 1" TYPE K COPPER. A 10-15' TAILPIECE SHALL BE INSTALLED OUT OF THE CURB STOP TO THE APPROXIMATE LOCATION OF THE METER PIT DURING INSTALLATION OF THE SERVICE LINE(S).
3. ALL CURB STOPS AND HYDRANTS SHALL BE PLACED IN THE GRASS WITHIN THE RIGHT-OF-WAY. STAKE RIGHT-OF-WAY AS REQUIRED.
4. THRUST BLOCKS ARE REQUIRED FOR ALL BLOW-OFFS, TEES, BENDS, AND HYDRANTS OR AS APPROVED BY PAWC INSPECTOR.
5. LOCKING RUBBERS ARE REQUIRED AT THE DIRECTION OF PAWC INSPECTOR.
6. ALL HYDRANTS SHALL BE MANUFACTURED WITH STORZ CONNECTION(S). FIELD INSTALLED STORZ CONNECTION(S) WILL NOT BE ACCEPTED.
7. ALL HYDRANTS SHALL BE MANUFACTURED WITH THE APPROPRIATE COLOR. YELLOW FOR ALL PUBLIC HYDRANTS AND RED FOR ALL PRIVATE HYDRANTS.
8. ALL HYDRANTS ARE TO OPEN LEFT.
9. ALL VALVES ARE TO OPEN LEFT.
10. INSTALLATION OF 1 1/4" BENDS ARE ONLY REQUIRED IF DEFLECTION OF THE PIPE CANT BE ACHIEVED, CONSULT PAWC INSPECTOR PRIOR TO A BEND BEING OMITTED.
11. INSTALLATION OF WATER MAIN SHALL BE INSTALLED PER THE APPROVED PAWC PLAN STARTING AT THE TAP OR TIE-IN POINT. DEVIATION FROM THIS SHALL BE COORDINATED DIRECTLY WITH FIELD OPS SUPERVISOR.
12. NO SERVICES SHALL BE INSTALLED UNTIL THE WATER HAS PASSED ALL REQUIRED TESTING.
13. ALL VALVE BOX TOPS SHALL BE SET TO THE STREET PAVEMENT BASE COURSE ELEVATION. PRIOR TO THE INSTALLATION OF THE PAVEMENT WEARING COURSE, VALVE BOX RISERS SHALL BE INSTALLED AT THE DIRECTION OF THE PAWC INSPECTOR. ALL VALVE BOX TOPS AND LIDS DAMAGED PRIOR TO THE INSTALLATION OF THE WEARING COURSE ARE THE RESPONSIBILITY OF THE DEVELOPER.

**BUCKEYE NOTES:**

1. NO UTILITY BENDS, ELBOWS, TRANSITIONS OR CONNECTIONS SHALL BE LOCATED WITHIN 25- FEET OF BUCKEYE'S HPPPP.
2. ALL WATERLINE AND SANITARY SEWER JOINTS WITHIN 50- FEET OF BUCKEYE'S HPPPP SHALL BE INSTALLED WITH NITRILE GASKETS AND THE CROSSING UTILITIES SHALL BE WRAPPED WITH A TRACER WIRE WITHIN 25- FEET OF THE CROSSING LOCATION.

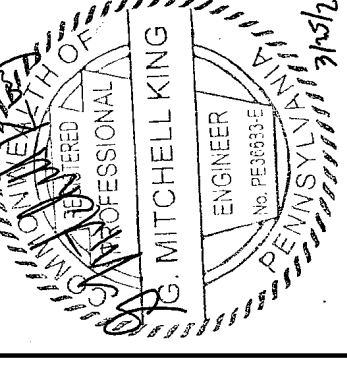
**LATA NOTES:**

1. ALL SANITARY SEWER LATERALS ARE 6" SDR 35.
2. SANITARY SEWER CLEANOUTS ARE NOT PERMITTED IN SIDEWALKS.
3. THE SITE SHALL BE GRADED TO THE PROPOSED NEW SUB-GRADE ELEVATION PRIOR TO STARTING SEWER LINE CONSTRUCTION.
4. THE PROPERTY OWNER IS RESPONSIBLE FOR FINAL SURFACE RESTORATION AFTER AUTHORITY FUTURE SEWER MAINTENANCE AND BACKFILL TO SUB-GRADE.
5. EXISTING SEWER MAIN FLOW AND SERVICE SHALL BE MAINTAINED DURING ALL PHASES OF CONSTRUCTION. THE CONTRACTOR SHALL PROVIDE A WORK PLAN PRIOR TO STARTING SEWER CONSTRUCTION THAT SHOWS HOW FLOW WILL BE MAINTAINED.
6. ALL CLEANOUTS LOCATED IN OPEN SPACE AREAS SHALL HAVE HEAVY DUTY FRAME AND COVER. (SEE B\UT-6).
7. SANITARY SEWER MANHOLES IN GRASSED AREAS SHALL HAVE WATER TIGHT FRAME AND COVERS. (SEE F\UT-6).
8. MAINTENANCE AND REPAIR OF SANITARY SEWER LATERALS OFF SANITARY SEWER MAINS WITHIN ARCONA NEIGHBORHOODS 3.1, 4, 5, & 6 WILL BE THE RESPONSIBILITY OF THE INDIVIDUAL LOT OWNERS. THE NEIGHBORHOOD ASSOCIATION IS RESPONSIBLE FOR MAINTENANCE AND REPAIR OF SEWER LATERALS TO ALL TOWNHOUSE DWELLINGS.

**WARNING:**  
GAS LINE MARKERS HAVE BEEN FOUND IN THE AREA OF ARCONA NEIGHBORHOOD 3 AND ARE NOTED IN THIS PLAN SET. PLEASE CONFIRM LOCATION OF GAS LINE AND OTHER UNDERGROUND UTILITIES ON ARCONA NEIGHBORHOOD 3 PRIOR TO CONSTRUCTION ACTIVITIES AND EXERCISE EXTREME CAUTION WHEN EXCAVATING WITHIN OPEN SPACE 40 & 41 AND LOT 910 SECTIONS OF THE SITE.

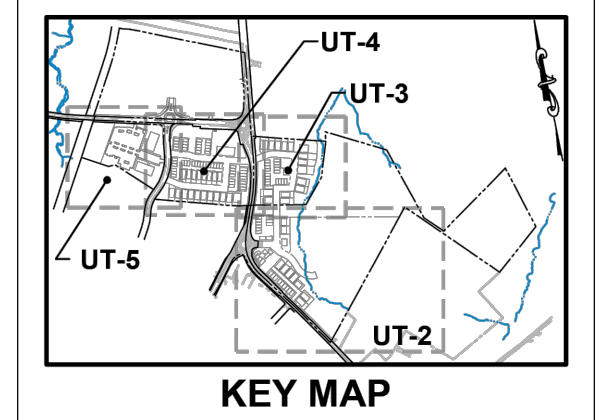
**REMAINING ARCONA NEIGHBORHOODS**  
Lower Allen Township - Cumberland County, PA  
**UTILITY PLAN - NEIGHBORHOOD 3.1**

Drafting: **D TURNER**  
Checked by: **K POSTLETHWAIT**  
Project Engineer: **G. MITCHELL KING PE, PLS**  
Project Surveyor: **THOMAS K. PHILLIPS PLS**  
Scale: **1" = 50'**

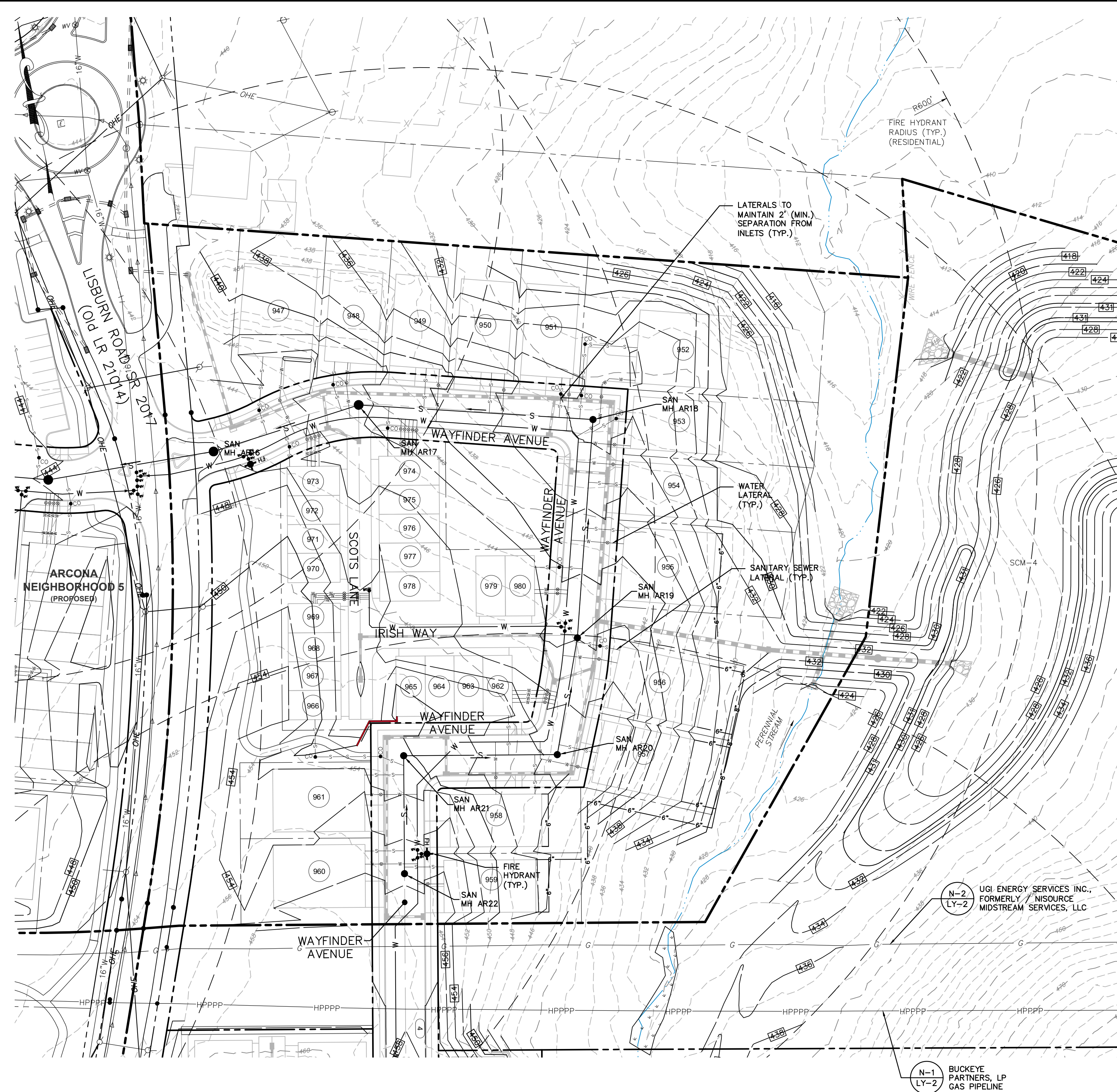


**TOWNE SQUARE ENGINEERING**  
313 W. Liberty St., Suite 241  
Lancaster, PA 17603  
Phone: (717) 283-4538  
**Civil Engineers & Land Planners**  
info@townesquareengineering.com

DATE	REVISIONS
3/27/26	ENG. LTR. DATED 3/19/26
2/24/26	UPDATE PLAN TO REMOVE NEIGHBORHOOD 7
2/10/26	ADDRESS CDD & TMP. ENG. COMMENTS
1/19/26	REVISED FOR CHN CHANGES



REMAINING ARCONA NEIGHBORHOODS  
Lower Allen Township - Cumberland County, PA  
CHARTER Homes & Neighborhoods  
UTILITY PLAN - NEIGHBORHOOD 4



PAWC NOTES:

1. PRIOR TO COMMENCEMENT OF WATER MAIN INSTALLATION THE LOCAL PAWC MANAGER FOR THE PROJECT SHALL BE PROVIDED WITH A WORK PROGRESS/TIMING SCHEDULE IN ADVANCE OF ANY AND ALL WORK TO ALLOW FOR INSPECTOR SCHEDULING.
2. ALL SERVICES FROM MAIN TO METER PIT ARE 1" TYPE K COPPER, A 10-15" TAILPIECE SHALL BE INSTALLED OUT OF THE CURB STOP TO THE APPROXIMATE LOCATION OF THE METER PIT DURING INSTALLATION OF THE SERVICE LINE(S).
3. ALL CURB STOPS AND HYDRANTS SHALL BE PLACED IN THE GRASS WITHIN THE RIGHT-OF-WAY, STAKE RIGHT-OF-WAY AS REQUIRED.
4. THRUST BLOCKS ARE REQUIRED FOR ALL BLOW-OFFS, TEES, BENDS, AND HYDRANTS OR AS APPROVED BY PAWC INSPECTOR.
5. LOCKING RUBBERS ARE REQUIRED AT THE DIRECTION OF PAWC INSPECTOR.
6. ALL HYDRANTS SHALL BE MANUFACTURED WITH STORZ CONNECTION(S), FIELD INSTALLED STORZ CONNECTION(S) WILL NOT BE ACCEPTED.
7. ALL HYDRANTS SHALL BE MANUFACTURED WITH THE APPROPRIATE COLOR, YELLOW FOR ALL PUBLIC HYDRANTS AND RED FOR ALL PRIVATE HYDRANTS.
8. ALL HYDRANTS ARE TO OPEN LEFT.
9. ALL VALVES ARE TO OPEN LEFT.
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11. INSTALLATION OF WATER MAIN SHALL BE INSTALLED PER THE APPROVED PAWC PLAN STARTING AT THE TAP OR TIE-IN POINT. DEVIATION FROM THIS SHALL BE COORDINATED DIRECTLY WITH FIELD OPS SUPERVISOR.
12. NO SERVICES SHALL BE INSTALLED UNTIL THE WATER HAS PASSED ALL REQUIRED TESTING.
13. ALL VALVE BOX TOPS SHALL BE SET TO THE STREET PAVEMENT BASE COURSE ELEVATION. PRIOR TO THE INSTALLATION OF THE PAVEMENT WEARING COURSE, VALVE BOX RISERS SHALL BE INSTALLED AT THE DIRECTION OF THE PAWC INSPECTOR. ALL VALVE BOX TOPS AND LIDS DAMAGED PRIOR TO THE INSTALLATION OF THE WEARING COURSE ARE THE RESPONSIBILITY OF THE DEVELOPER.

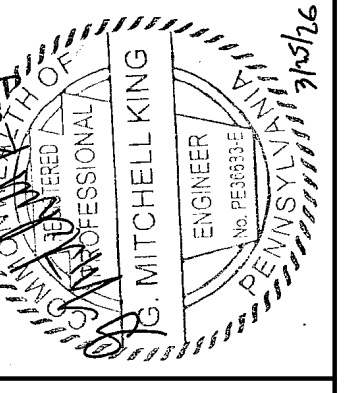
BUCKEYE NOTES:

1. NO UTILITY BENDS, ELBOWS, TRANSITIONS OR CONNECTIONS SHALL BE LOCATED WITHIN 25- FEET OF BUCKEYE'S HPPPP.
2. ALL WATERLINE AND SANITARY SEWER JOINTS WITHIN 50- FEET OF BUCKEYE'S HPPPP SHALL BE INSTALLED WITH NITRILE GASKETS AND THE CROSSING UTILITIES SHALL BE WRAPPED WITH A TRACER WIRE WITHIN 25- FEET OF THE CROSSING LOCATION.

LATA NOTES:

1. ALL SANITARY SEWER LATERALS ARE 6" SDR 35.
2. SANITARY SEWER CLEANOUTS ARE NOT PERMITTED IN SIDEWALKS.
3. THE SITE SHALL BE GRADED TO THE PROPOSED NEW SUB-GRADE ELEVATION PRIOR TO STARTING SEWER LINE CONSTRUCTION.
4. THE PROPERTY OWNER IS RESPONSIBLE FOR FINAL SURFACE RESTORATION AFTER AUTHORITY FUTURE SEWER MAINTENANCE AND BACKFILL TO SUB-GRADE.
5. EXISTING SEWER MAIN FLOW AND SERVICE SHALL BE MAINTAINED DURING ALL PHASES OF CONSTRUCTION. THE CONTRACTOR SHALL PROVIDE A WORK PLAN PRIOR TO STARTING SEWER CONSTRUCTION THAT SHOWS HOW FLOW WILL BE MAINTAINED.
6. ALL CLEANOUTS LOCATED IN OPEN SPACE AREAS SHALL HAVE HEAVY DUTY FRAME AND COVER, (SEE B\UT-6).
7. SANITARY SEWER MANHOLES IN GRASSED AREAS SHALL HAVE WATER TIGHT FRAME AND COVERS. (SEE F\UT-6).
8. MAINTENANCE AND REPAIR OF SANITARY SEWER LATERALS OFF SANITARY SEWER MAINS WITHIN ARCONA NEIGHBORHOODS 3, 4, 5, & 6 WILL BE THE RESPONSIBILITY OF THE INDIVIDUAL LOT OWNERS. THE NEIGHBORHOOD ASSOCIATION IS RESPONSIBLE FOR MAINTENANCE AND REPAIR OF SEWER LATERALS TO ALL TOWNHOUSE DWELLINGS.

Drafting: D TURNER  
 Checked by: K POSTLETHWAIT  
 Project Engineer: G. MITCHELL KING PE, PLS  
 Project Surveyor: THOMAS K. PHILLIPS PLS  
 Scale: 1"=50'

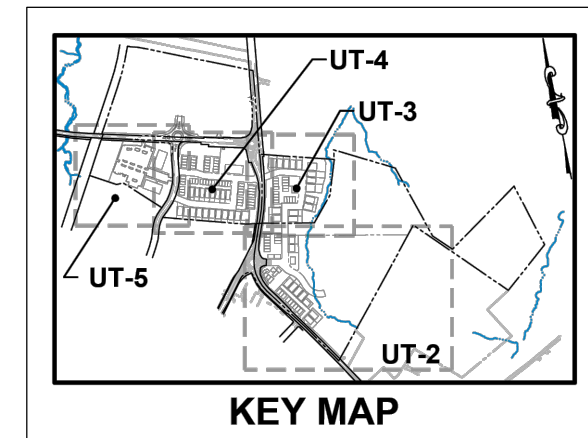


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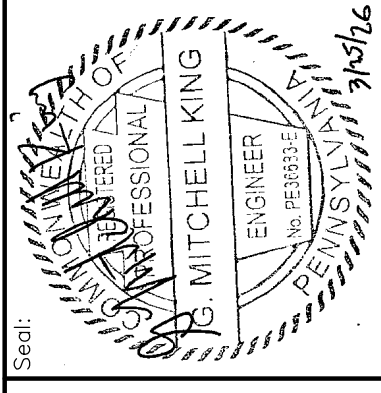
**WARNING:**  
 GAS LINE MARKERS HAVE BEEN FOUND IN THE AREA OF ARCONA NEIGHBORHOOD 4 AND ARE NOTED IN THIS PLAN SET. PLEASE CONFIRM LOCATION OF GAS LINE AND OTHER UNDERGROUND UTILITIES ON ARCONA NEIGHBORHOOD 4 PRIOR TO CONSTRUCTION ACTIVITIES AND EXERCISE EXTREME CAUTION WHEN EXCAVATING WITHIN OPEN SPACE 40 & 41 SECTIONS OF THE SITE.

DATE	REVISIONS
3/27/26	ENG. LTR. DATED 3/19/26
2/24/26	UPDATE PLAN TO REMOVE NEIGHBORHOOD 7
2/10/26	ADDRESS CDD & TWP. ENG. COMMENTS
1/19/26	REVISED FOR CH&N CHANGES



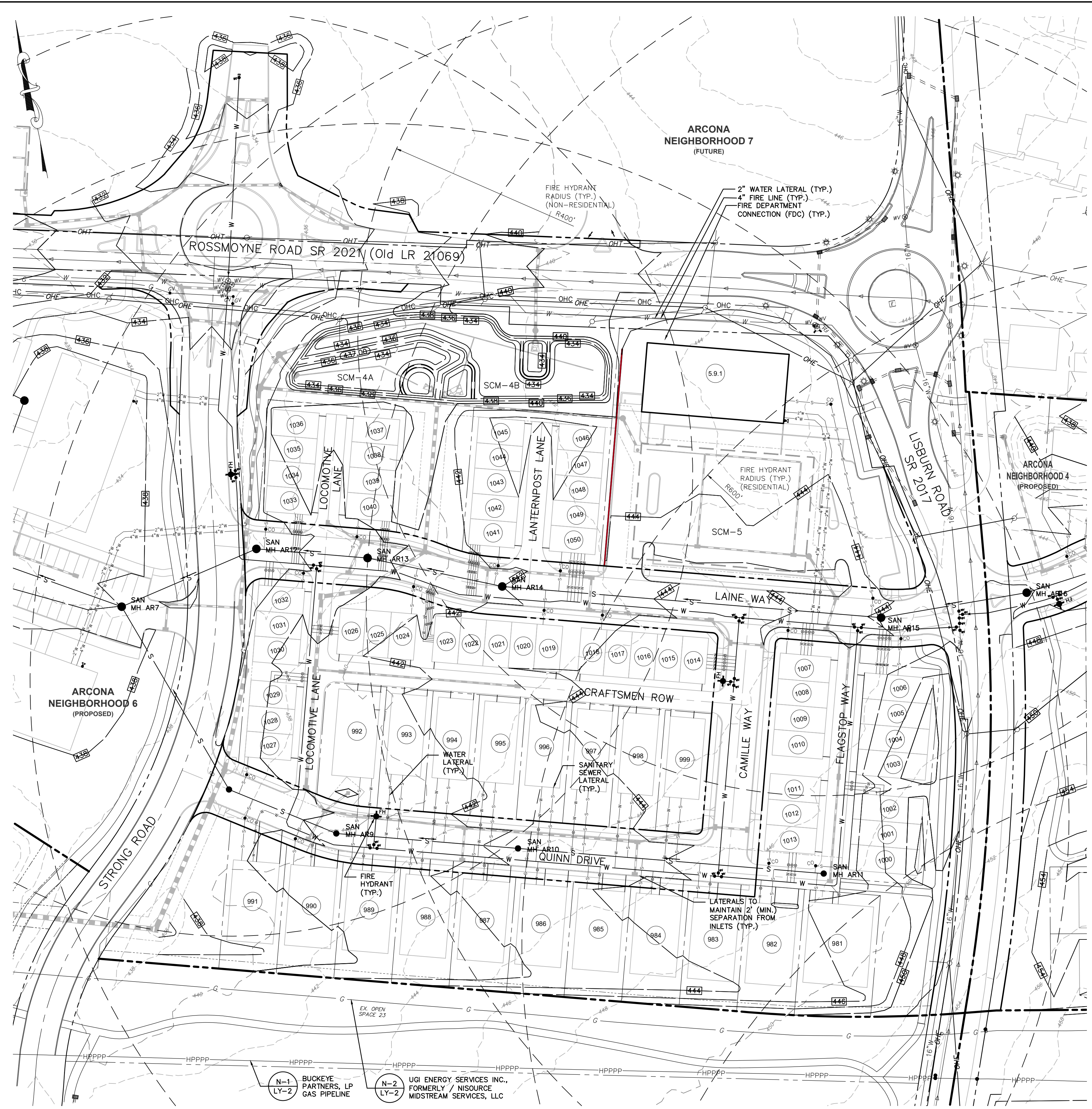
REMAINING ARCONA NEIGHBORHOODS  
Lower Allen Township - Cumberland County, PA  
UTILITY PLAN - NEIGHBORHOOD 5

Drafting: D TURNER  
Checked by: K POSTLETHWAIT  
Project Engineer: G. MITCHELL KING PE, PLS  
Scale: 1"=50'  
Project Surveyor: THOMAS K. PHILLIPS PLS



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2/24/26	UPDATE PLAN TO REMOVE NEIGHBORHOOD 7
2/10/26	ADDRESS CDD & TMP. ENG. COMMENTS
1/19/26	REVISED FOR CH&N CHANGES



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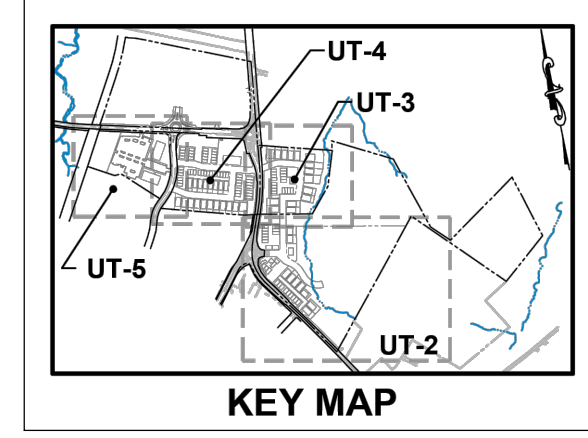
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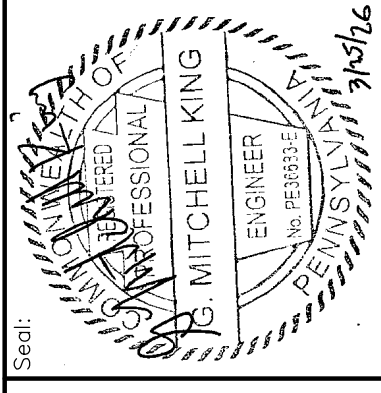
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N-1 LY-2 BUCKEYE PARTNERS, LP GAS PIPELINE  
N-2 LY-2 UGI ENERGY SERVICES INC., FORMERLY / NISOURCE MIDSTREAM SERVICES, LLC



REMAINING ARCONA NEIGHBORHOODS  
Lower Allen Township - Cumberland County, PA  
CHARTER HOMES & NEIGHBORHOODS  
UTILITY PLAN - NEIGHBORHOOD 6

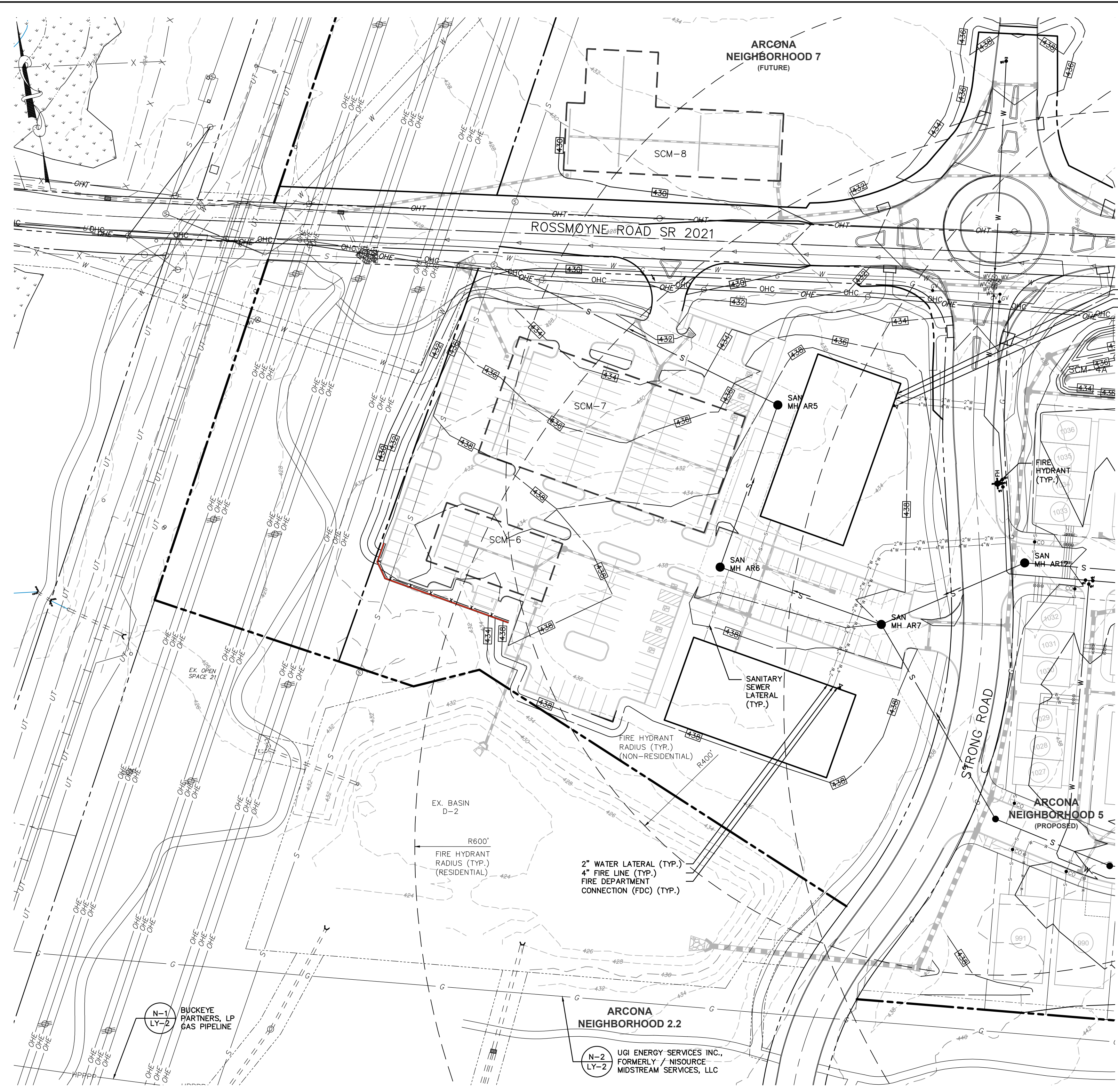
Project Manager:	DAVID B. KEGERIZE PE	Drafting:	D TURNER
Project Engineer:	G. MITCHELL KING PE, PLS	Checked by:	K POSTLETHWAIT
Project Surveyor:	THOMAS K. PHILLIPS PLS	Scale:	1" = 50'



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3/27/26	ENG. LTR. DATED 3/19/26
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	DATE



2" WATER LATERAL (TYP.)  
4" FIRE LINE (TYP.)  
FIRE DEPARTMENT CONNECTION (FDC) (TYP.)

2" WATER LATERAL (TYP.)  
4" FIRE LINE (TYP.)  
FIRE DEPARTMENT CONNECTION (FDC) (TYP.)

R600'  
FIRE HYDRANT RADIUS (TYP.) (RESIDENTIAL)

N-2  
LY-2  
UGI ENERGY SERVICES INC.,  
FORMERLY / NISOURCE  
MIDSTREAM SERVICES, LLC

N-1  
LY-2  
BUCKEYE PARTNERS, LP  
GAS PIPELINE

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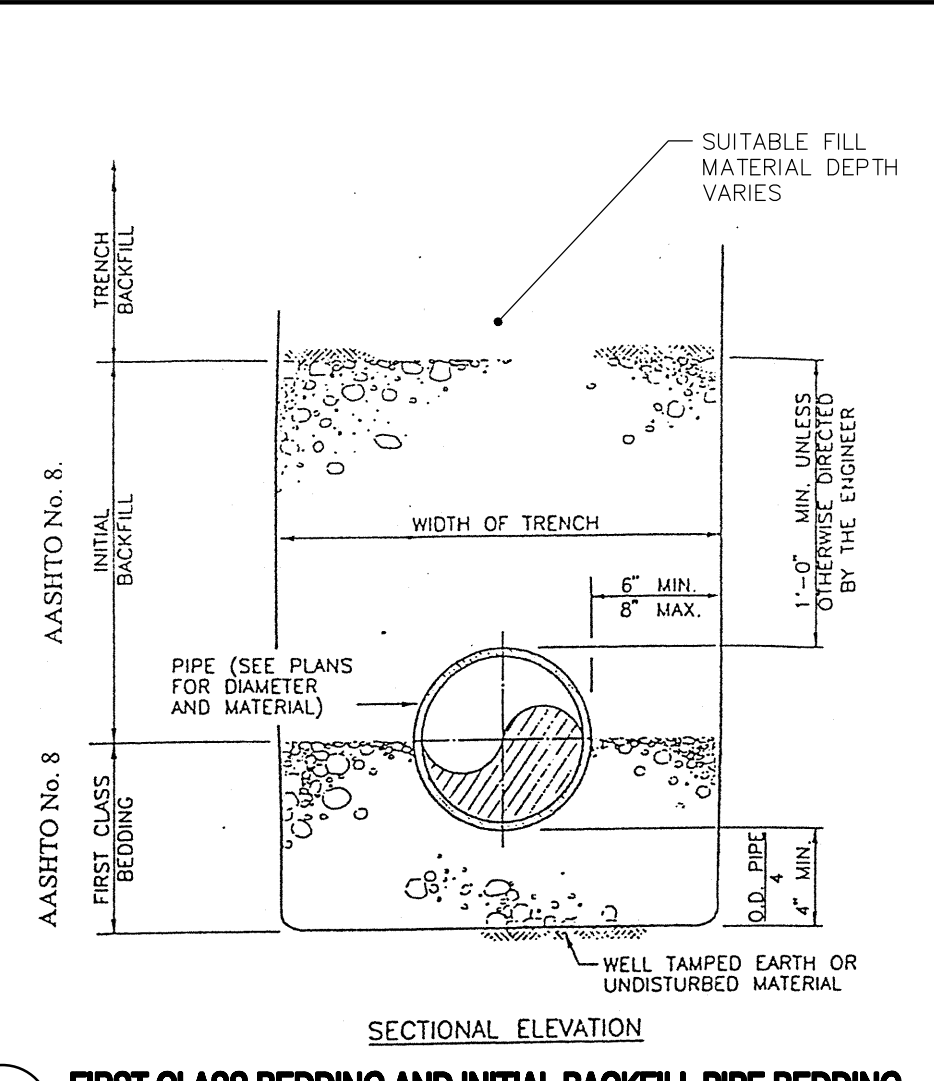
**REMAINING ARONA NEIGHBORHOODS**  
 Lower Allen Township - Cumberland County, PA  
 CHARTER HOMES & NEIGHBORHOODS  
**UTILITY DETAILS**

Project Manager: **DAVID B. KEGERIZE PE**  
 Project Engineer: **G. MITCHELL KING PE, PLS**  
 Project Surveyor: **THOMAS K. PHILLIPS PLS**  
 Checked By: **K. POSTLETHWAIT**  
 Scale: **AS NOTED**

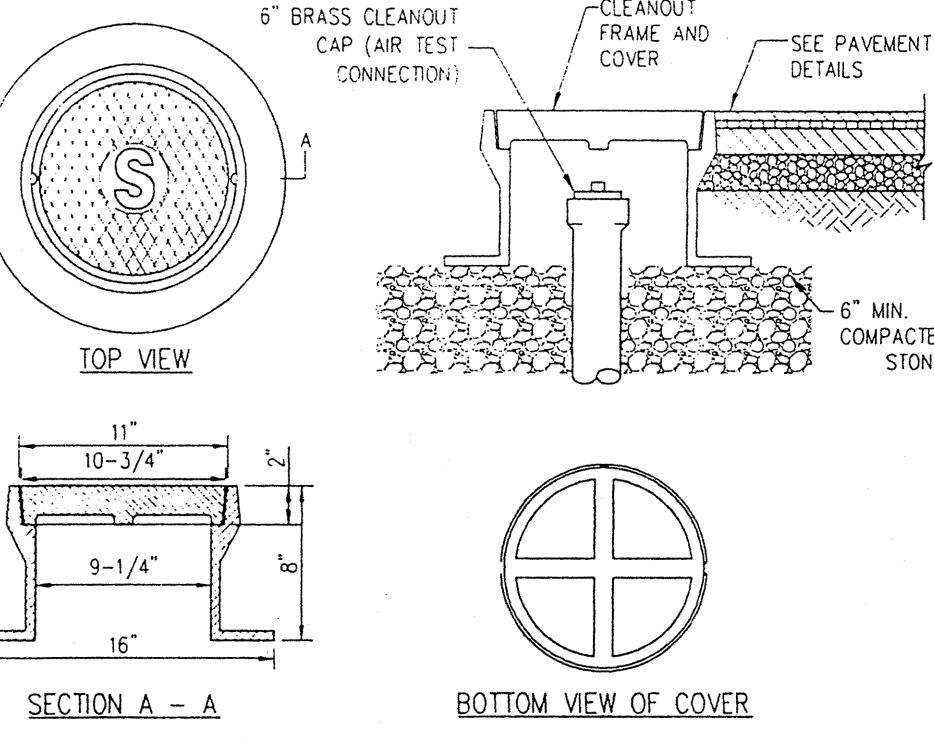
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**TOWNE SQUARE ENGINEERING**  
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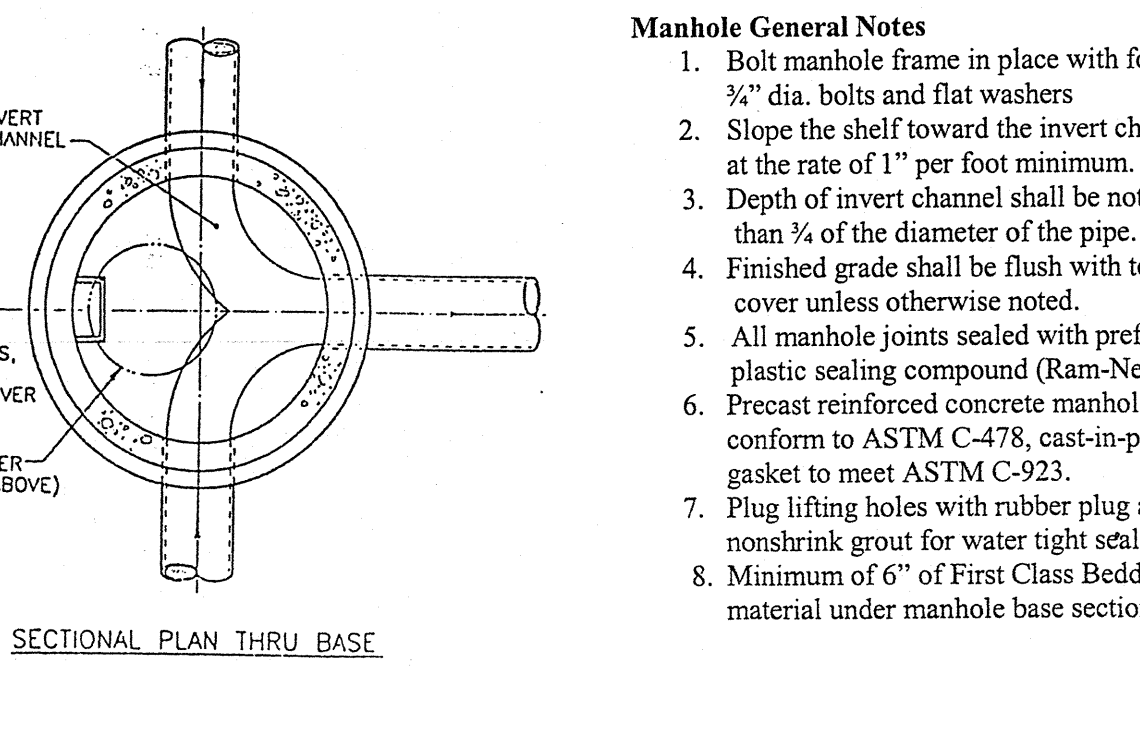
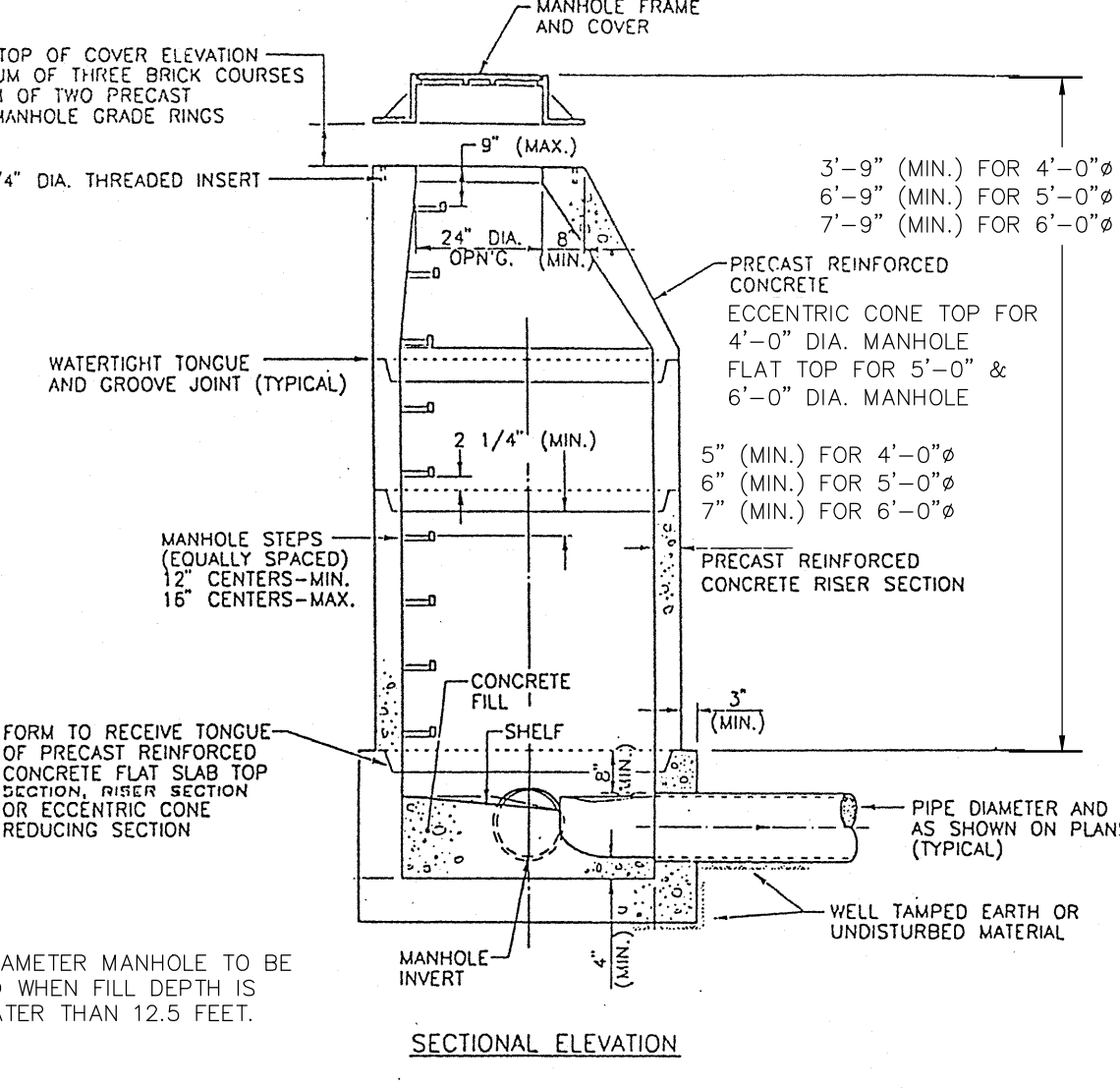
Section Number: **UT-6**  
 3/27/26 ADDRESS TMP. ENG. LTR. DATED 3/19/26  
 2/24/26 UPDATE PLAN TO REMOVE NEIGHBORHOOD 7  
 2/10/26 ADDRESS CDD & TMP. ENG. COMMENTS  
 1/19/26 REVISED FOR CHN CHANGES  
 DATE REVISIONS  
 L:\15-100-35\SHEETS\PRELIM-FINAL\63 UT-06.DWG  
 3/26/2026 3:22 PM



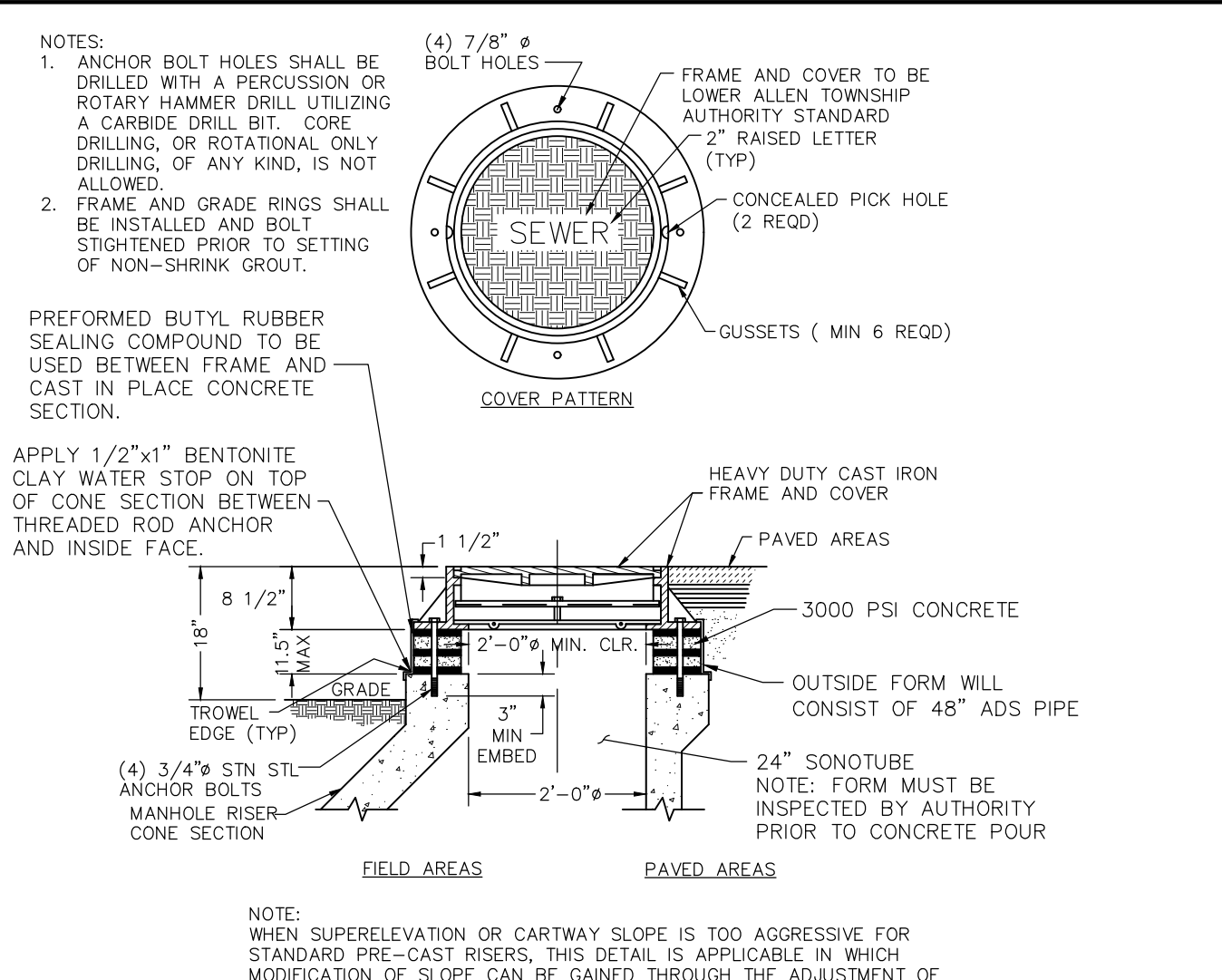
**A FIRST CLASS BEDDING AND INITIAL BACKFILL PIPE BEDDING**  
 UT-6 NOT TO SCALE



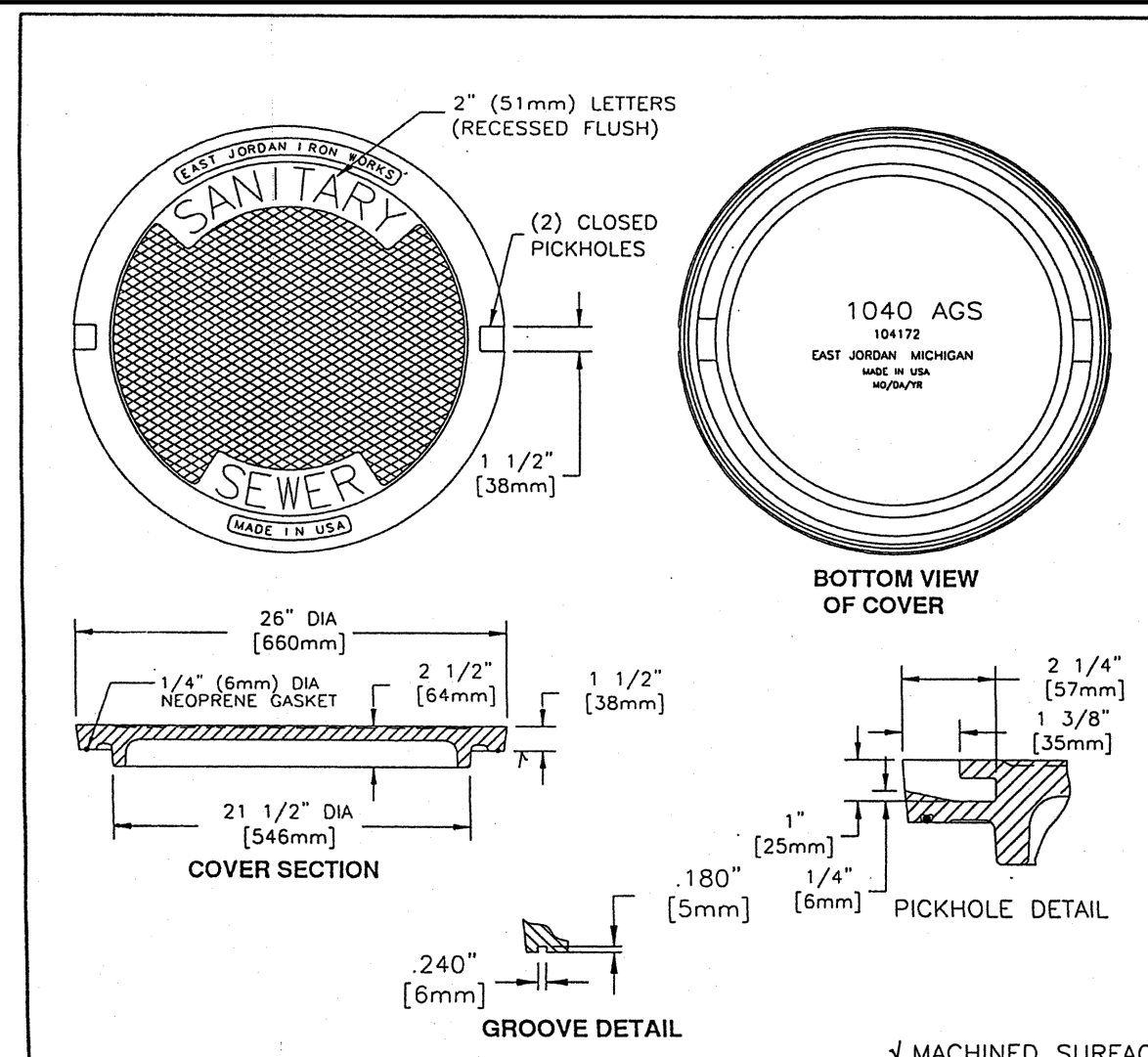
**B HEAVY DUTY CLEANOUT FRAME AND COVER**  
 UT-6 NOT TO SCALE



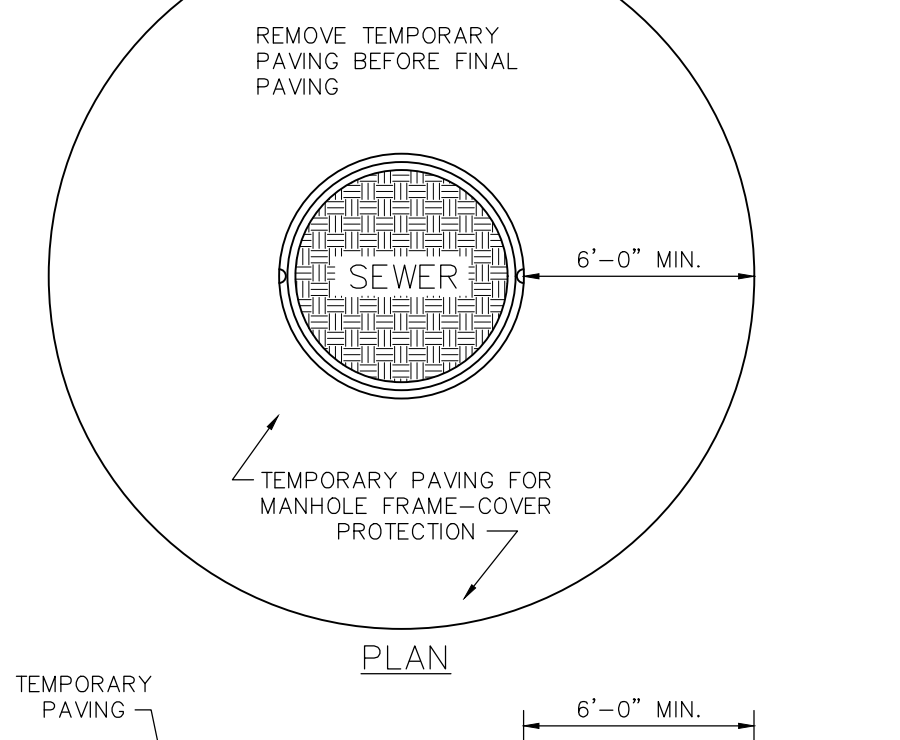
**C STANDARD MANHOLE - 4' & 6' DIAMETER**  
 UT-6 NOT TO SCALE



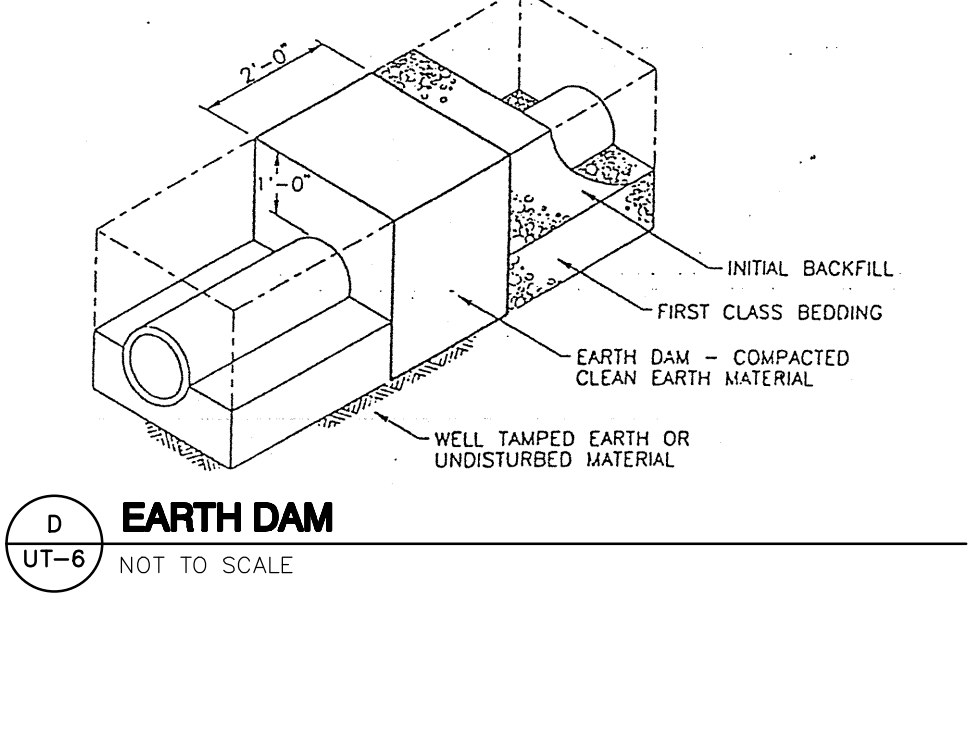
**M MANHOLE FRAME & COVER**  
 UT-6 NOT TO SCALE



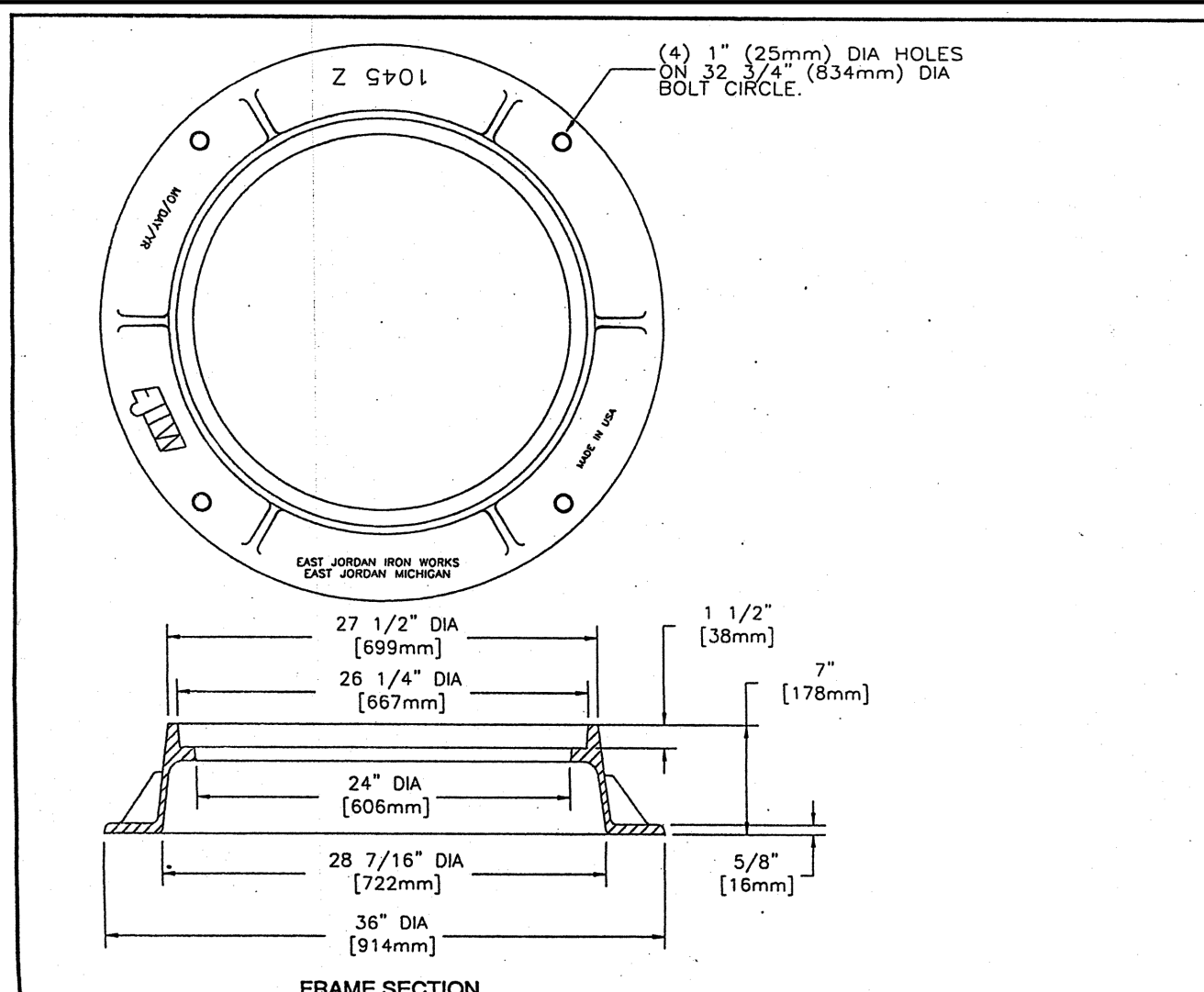
**E MANHOLE FRAME AND COVER**  
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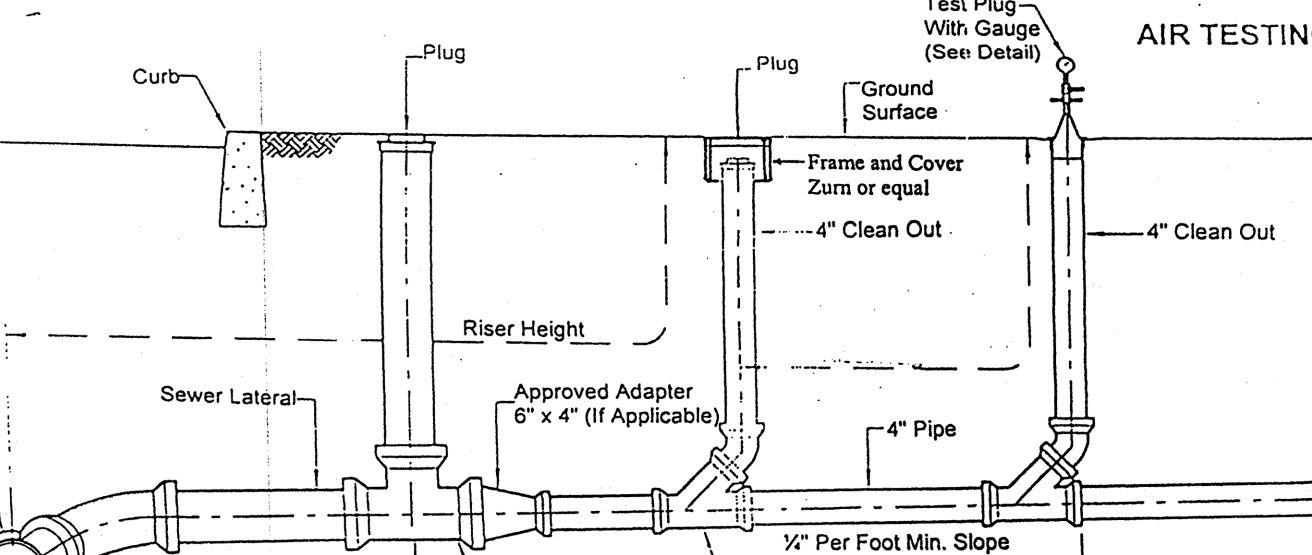
**O MANHOLE FRAME/COVER PROTECTION DETAIL PRIOR TO FINAL PAVING**  
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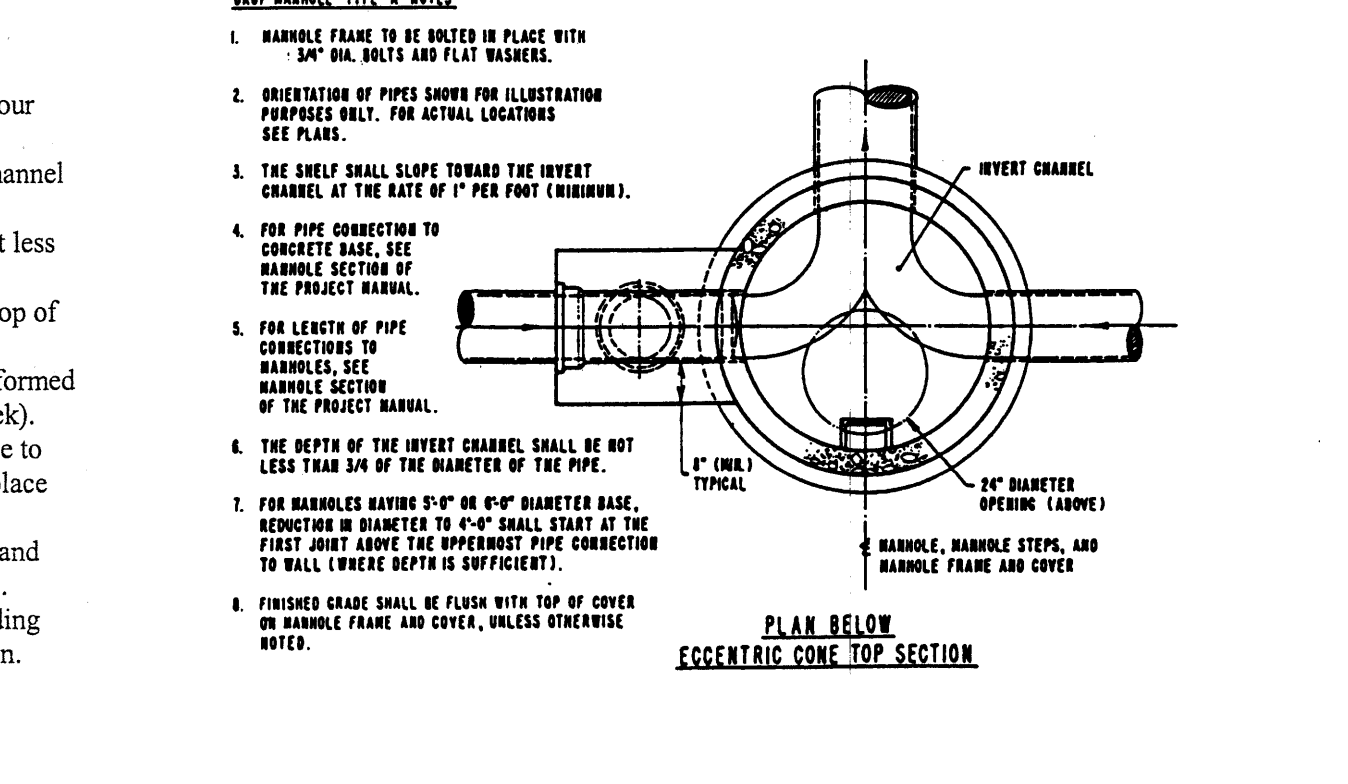
**D EARTH DAM**  
 UT-6 NOT TO SCALE



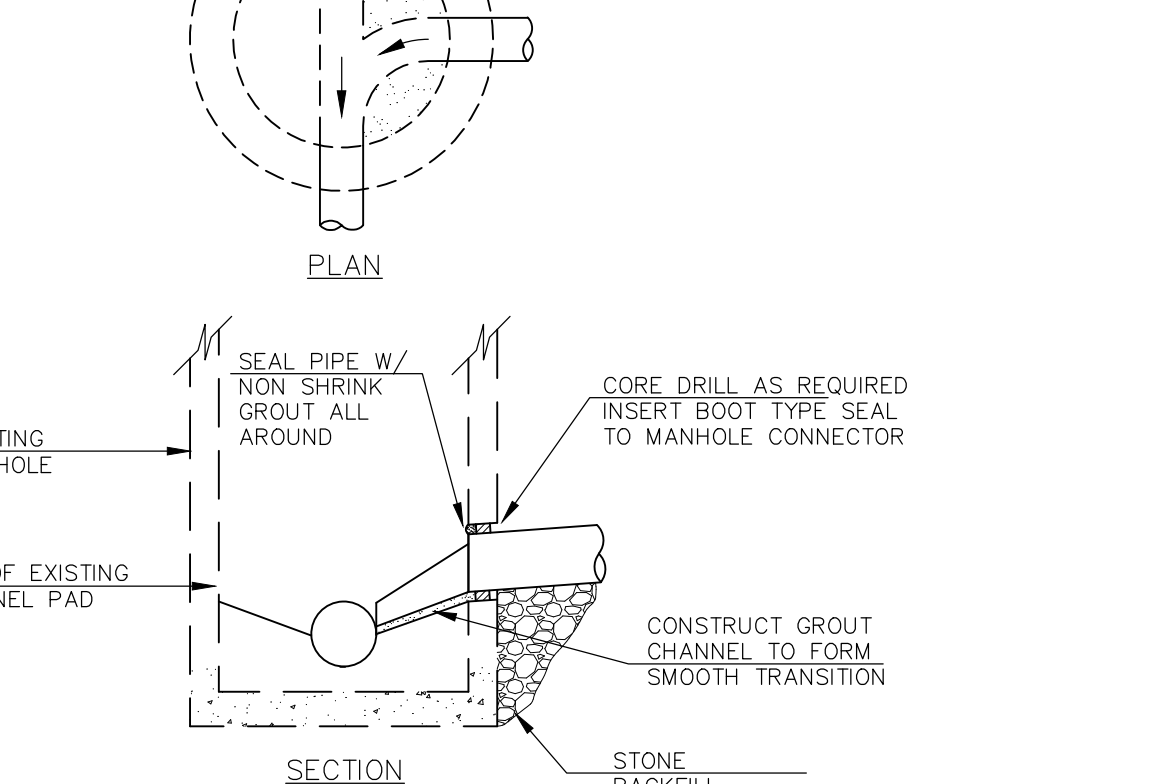
**G MANHOLE FRAME**  
 UT-6 NOT TO SCALE



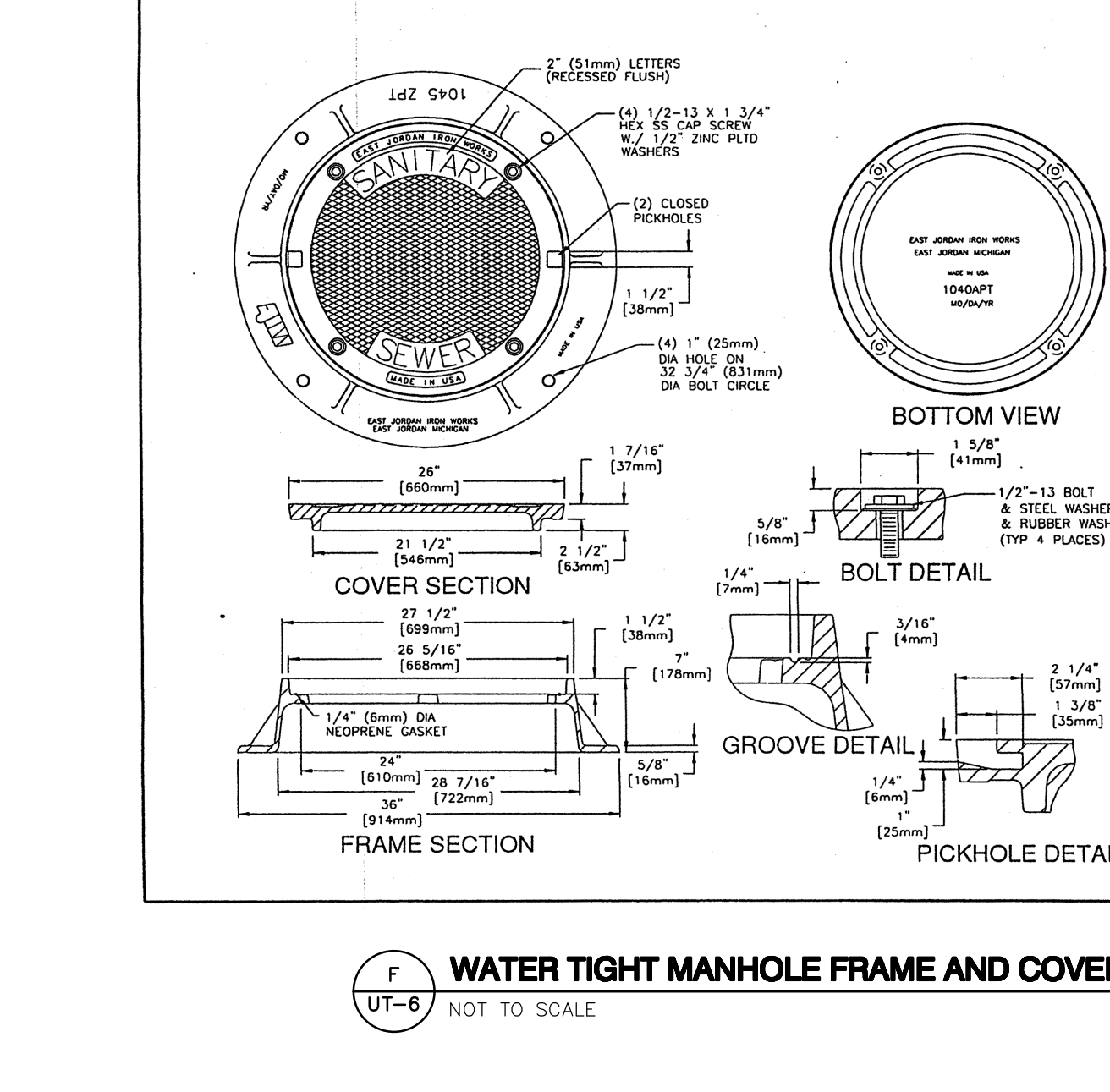
**H SANITARY SEWER LATERAL DETAILS**  
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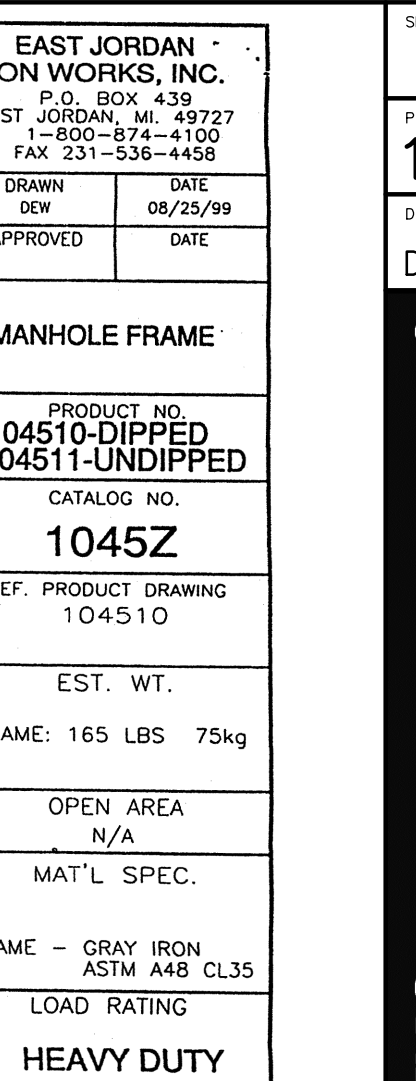
**L DROP MANHOLE DETAIL - EXTERIOR**  
 UT-6 NOT TO SCALE



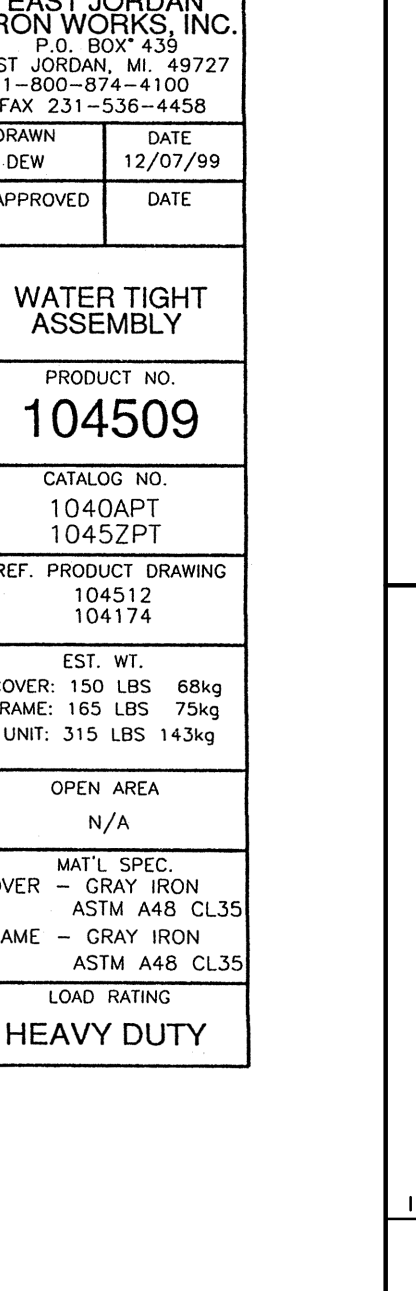
**J CONNECTION TO EXISTING MANHOLE**  
 UT-6 NOT TO SCALE



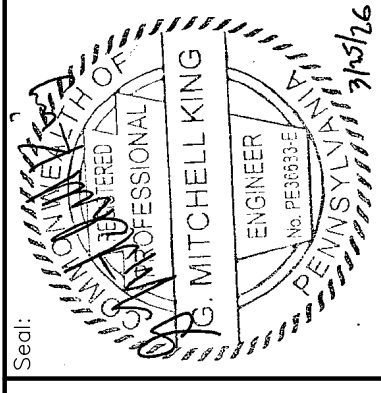
**F WATER TIGHT MANHOLE FRAME AND COVER**  
 UT-6 NOT TO SCALE



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 UT-6 NOT TO SCALE

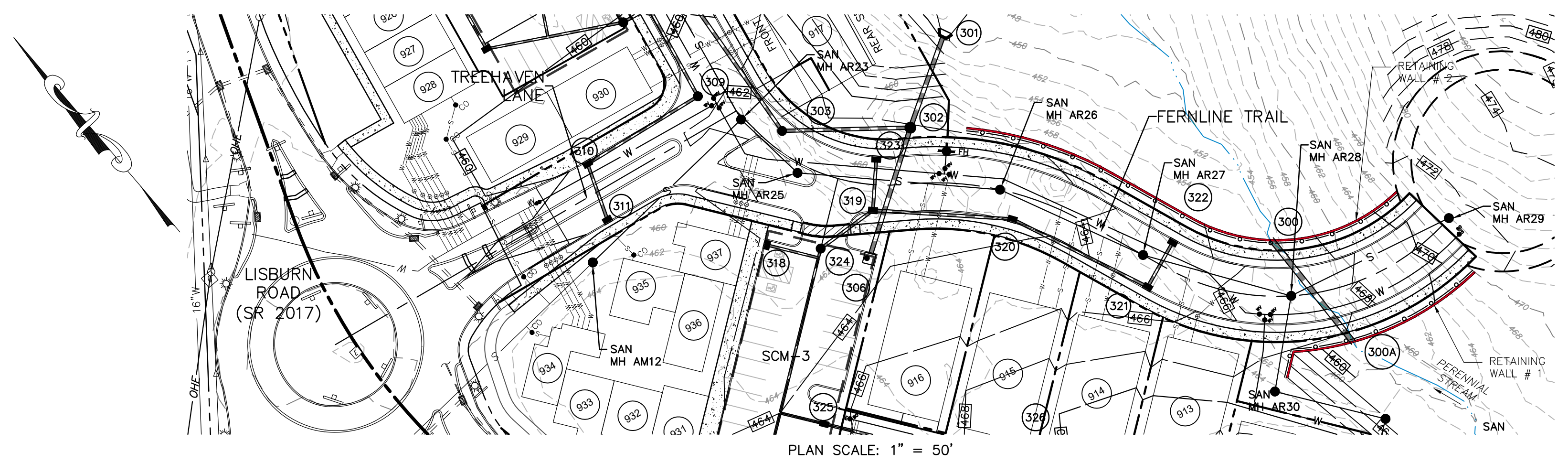


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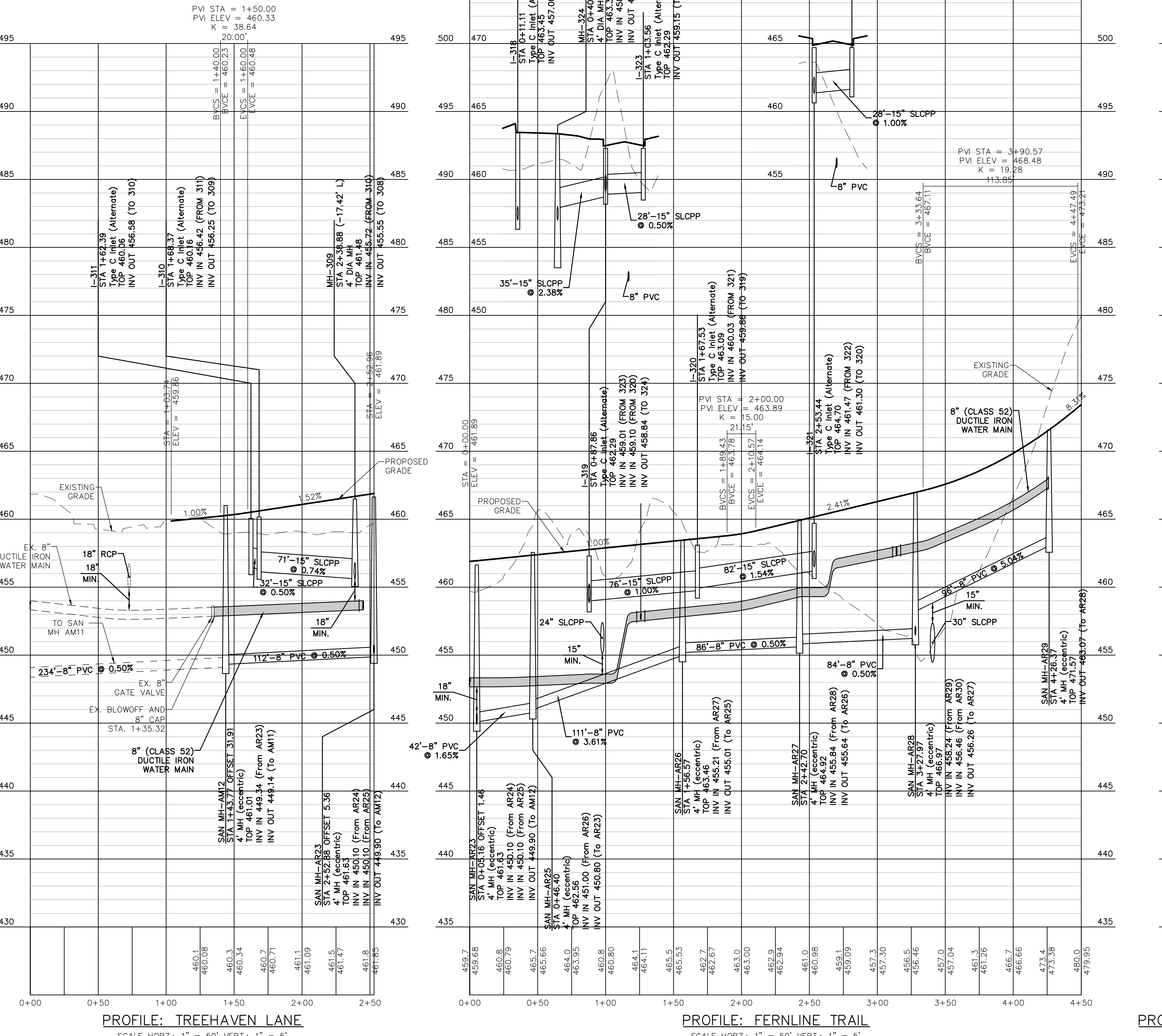
DATE	REVISIONS
3/27/26	ADDRESS TMP. ENG. LTR. DATED 3/19/26
2/24/26	UPDATE PLAN TO REMOVE NEIGHBORHOOD 7
2/10/26	ADDRESS CDDP & TMP. ENG. COMMENTS
1/19/26	REVISED FOR CHN CHANGES

Section Number:  
PF-1

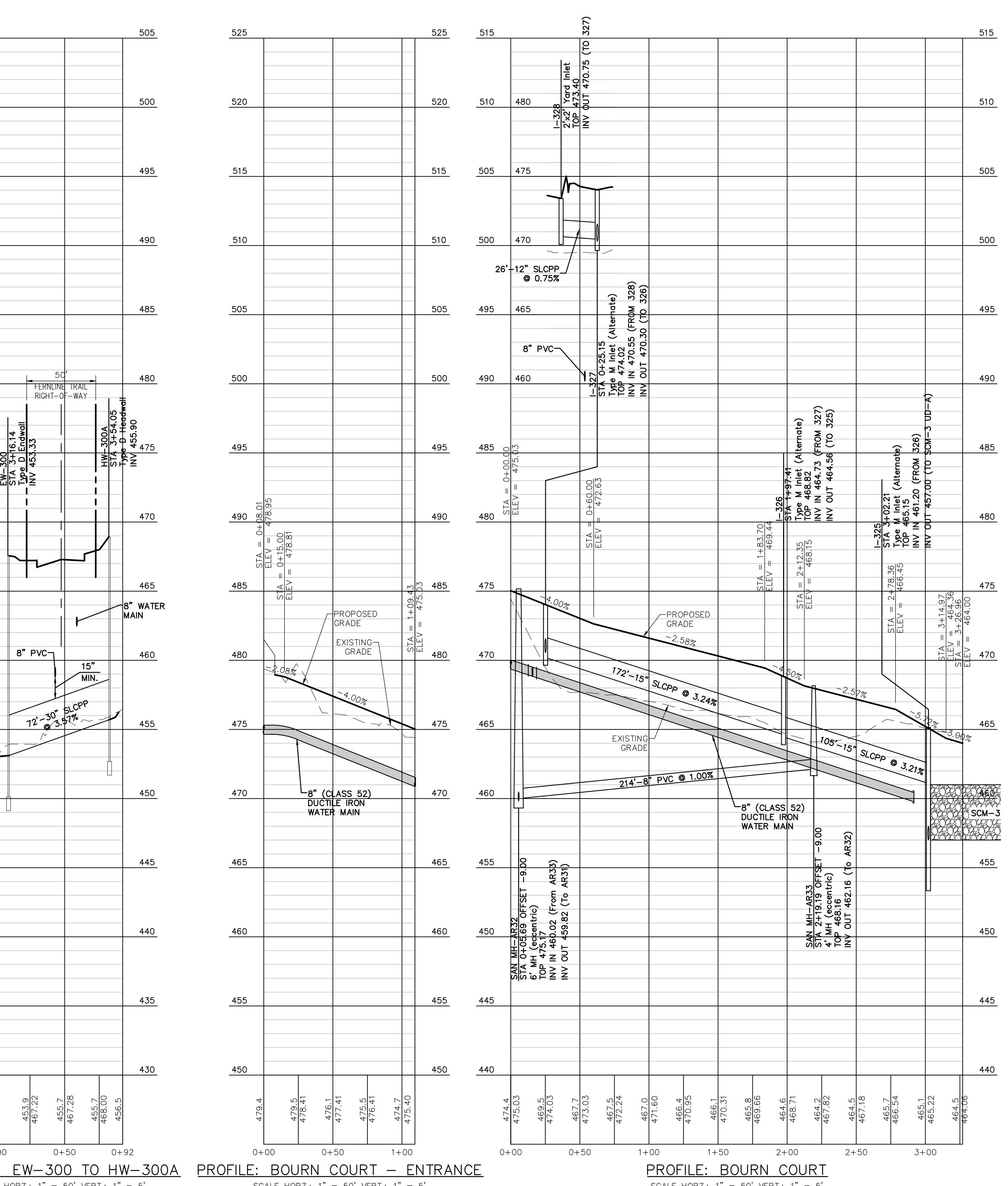
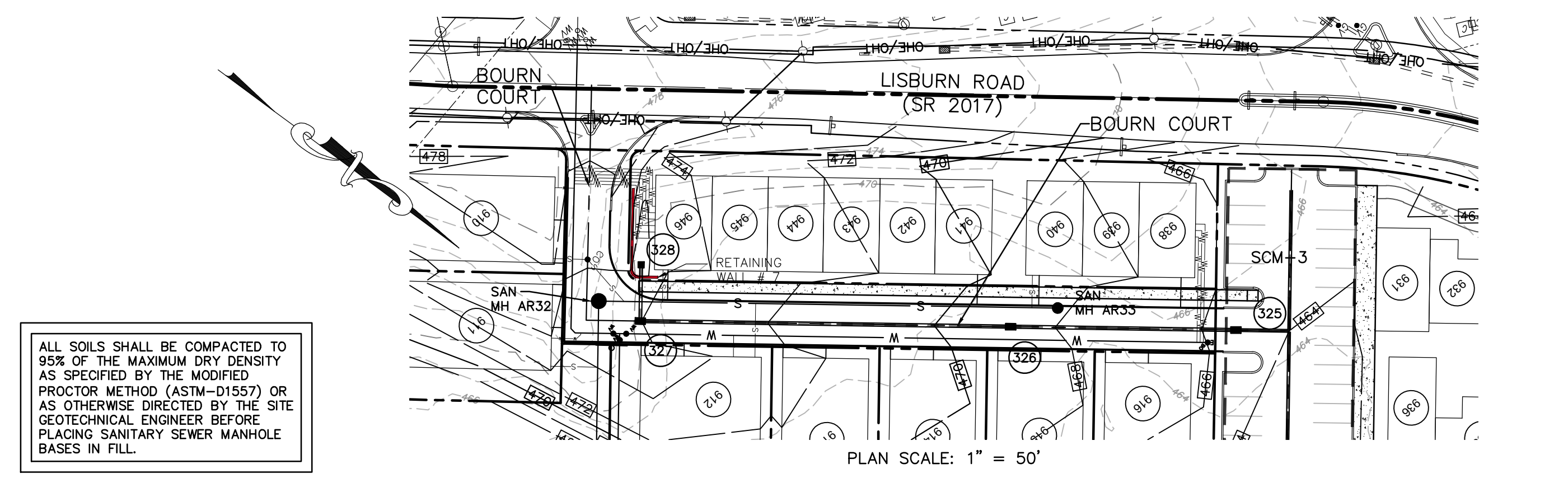


**NOTES:**

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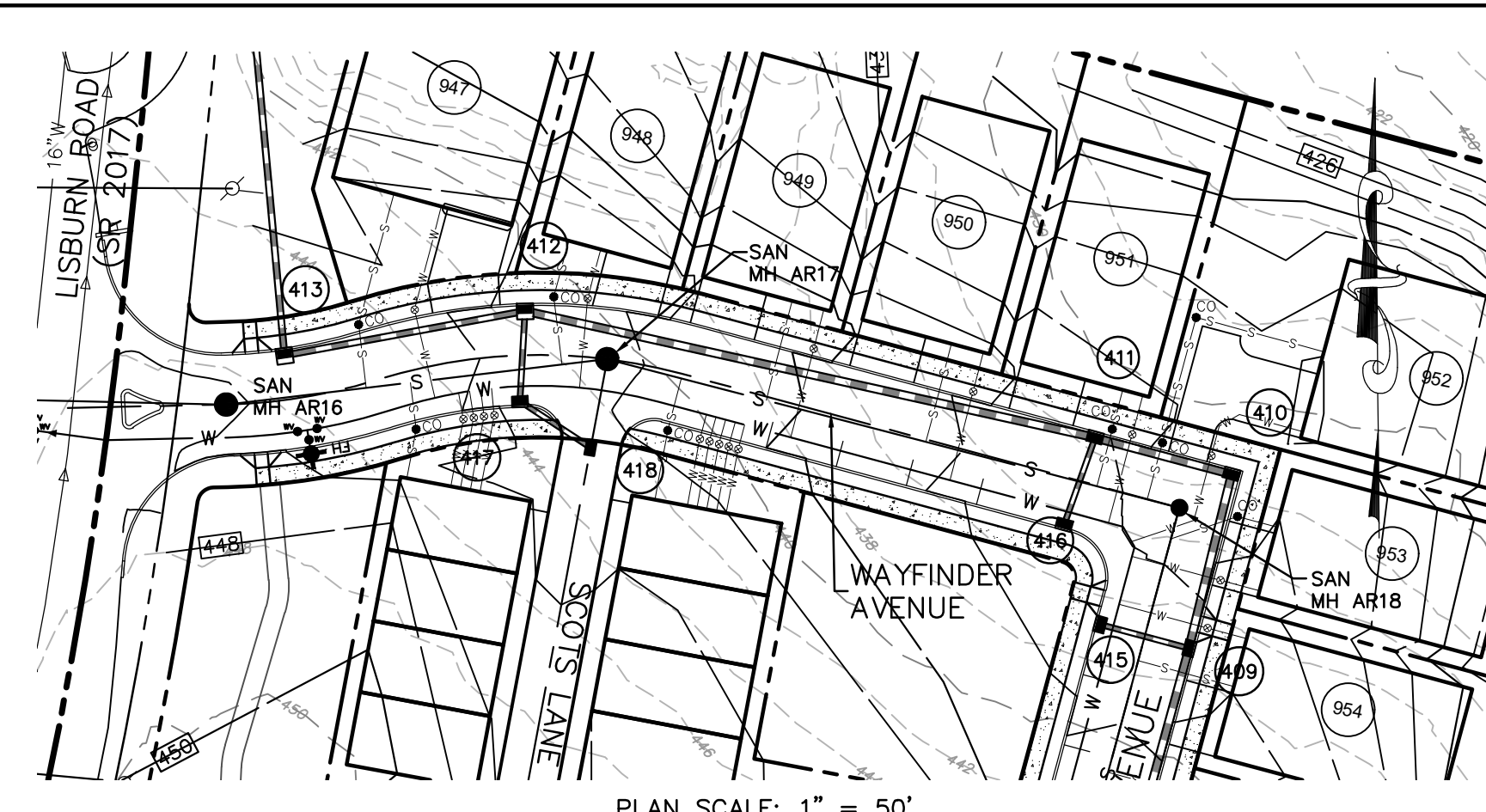
ALL SOILS SHALL BE COMPACTED TO 95% OF THE MAXIMUM DRY DENSITY AS SPECIFIED BY THE MODIFIED PROCTOR METHOD (ASTM-D1557) OR AS OTHERWISE DIRECTED BY THE SITE GEOTECHNICAL ENGINEER BEFORE PLACING SANITARY SEWER MANHOLE BASES IN FILL.



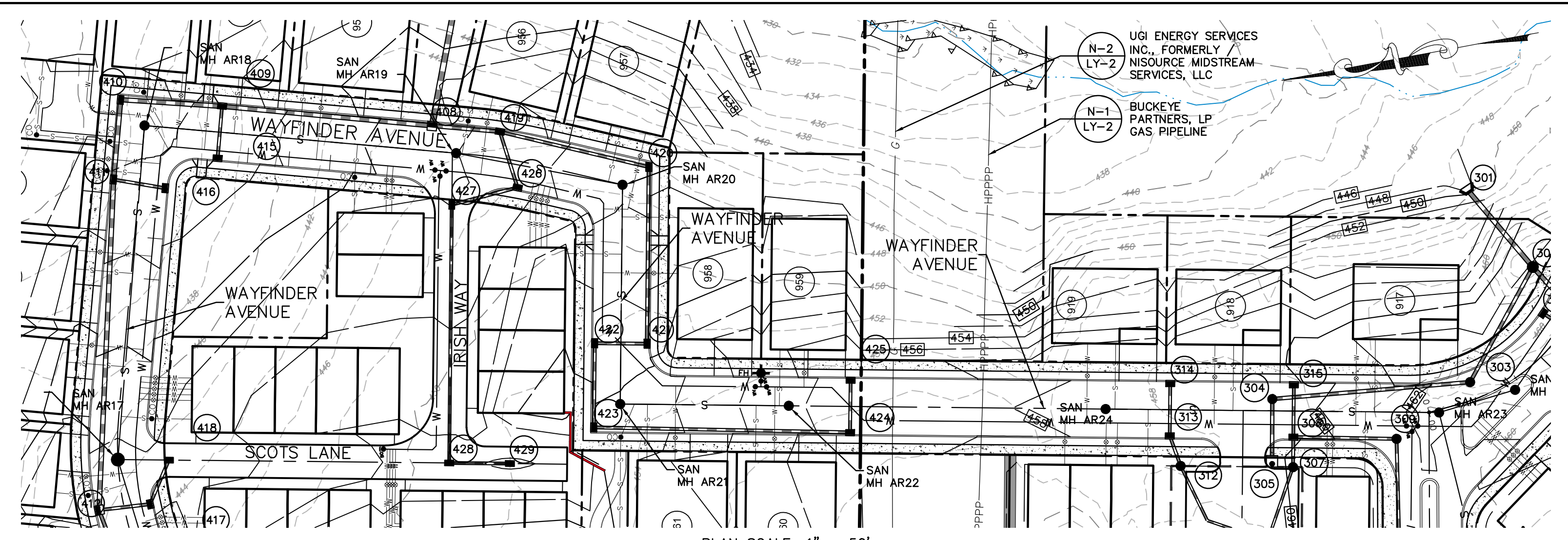
Project Manager: DAVID B. KEGERIZE PE  
 Project Engineer: G. MITCHELL KING PE, PLS  
 Project Surveyor: THOMAS K. PHILLIPS PLS  
 Drafting: D TURNER  
 Checked by: K POSTLETHWAIT  
 Scale: 1"=50'

313 W. Liberty St., Suite 241  
**TOWNE SQUARE ENGINEERING**  
 Lancaster, PA 17603  
 Phone: (717) 283-4538  
**Civil Engineers & Land Planners**  
 info@townesquareengineering.com

DATE	REVISIONS
3/27/26	ADDRESS TMP. ENG. LTR. DATED 3/19/26
2/24/26	UPDATE PLAN TO REMOVE NEIGHBORHOOD 7
2/10/26	ADDRESS CDD & TMP. ENG. COMMENTS
1/19/26	REVISED FOR CH&N CHANGES



PLAN SCALE: 1" = 50'



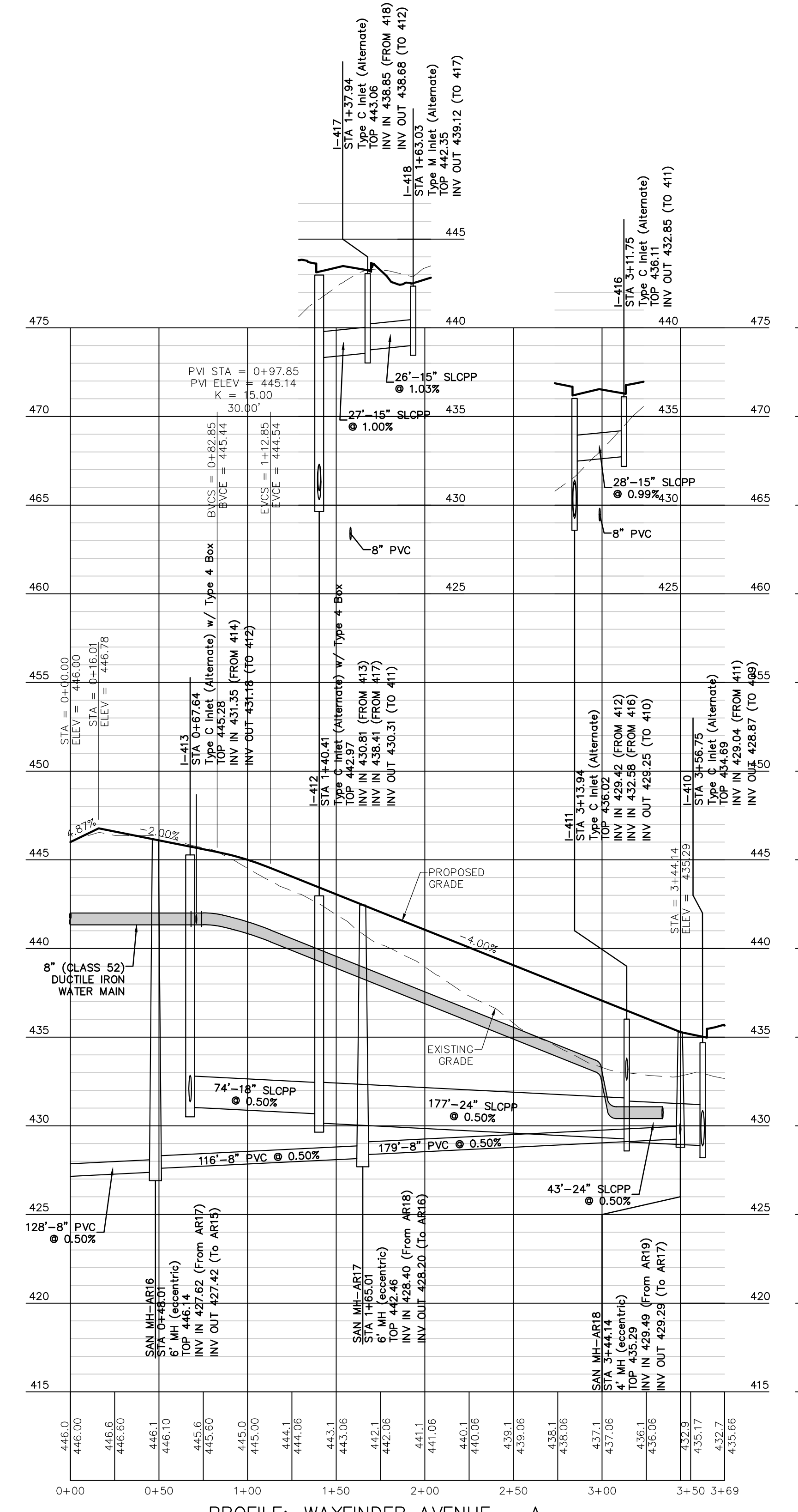
PLAN SCALE: 1" = 50'

ALL UTILITIES MUST BE INSTALLED WITH A TWO FOOT MINIMUM SEPARATION FROM THE EXISTING BUCKEYE AND GAS PIPELINES.

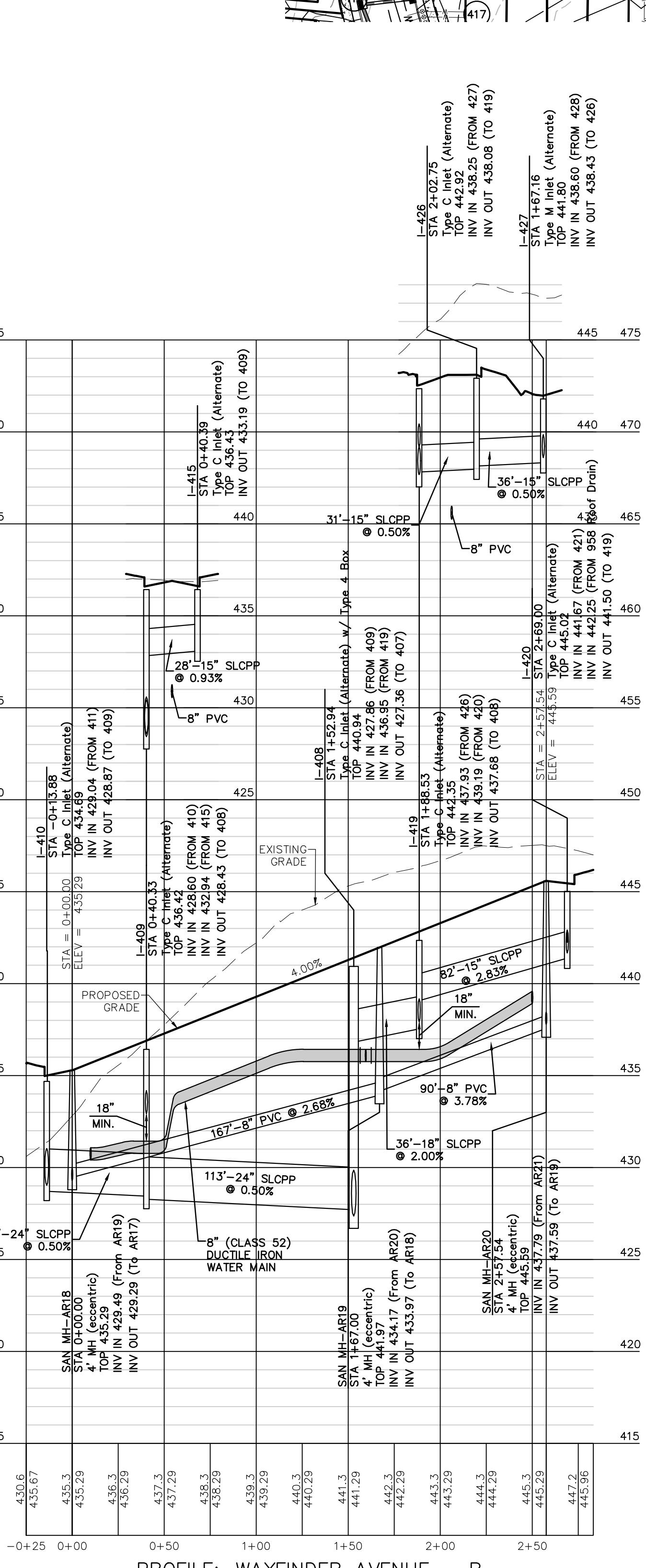
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TOM MCCLEARY (717-906-6961), REPRESENTATIVE OF BUCKEYE PARTNERS, LP AND ANTHONY MILLER (717-331-8849), REPRESENTATIVE OF UGI ENERGY SERVICES, WERE PRESENT DURING FIELD VERIFICATION BY CH&N ON 11/21/2025.  
 PA ONE CALL #: 20240612619

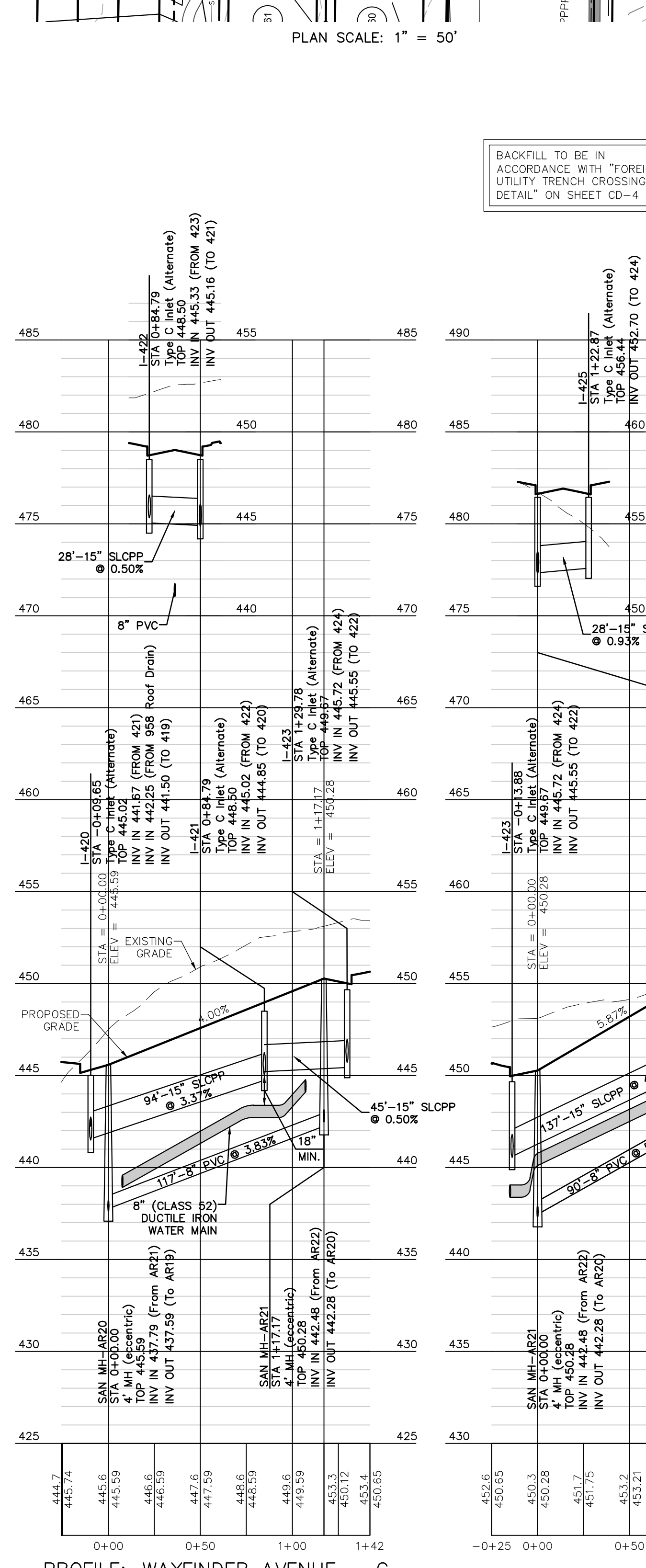
BACKFILL TO BE IN ACCORDANCE WITH "FOREIGN UTILITY TRENCH CROSSING DETAIL" ON SHEET CD-4



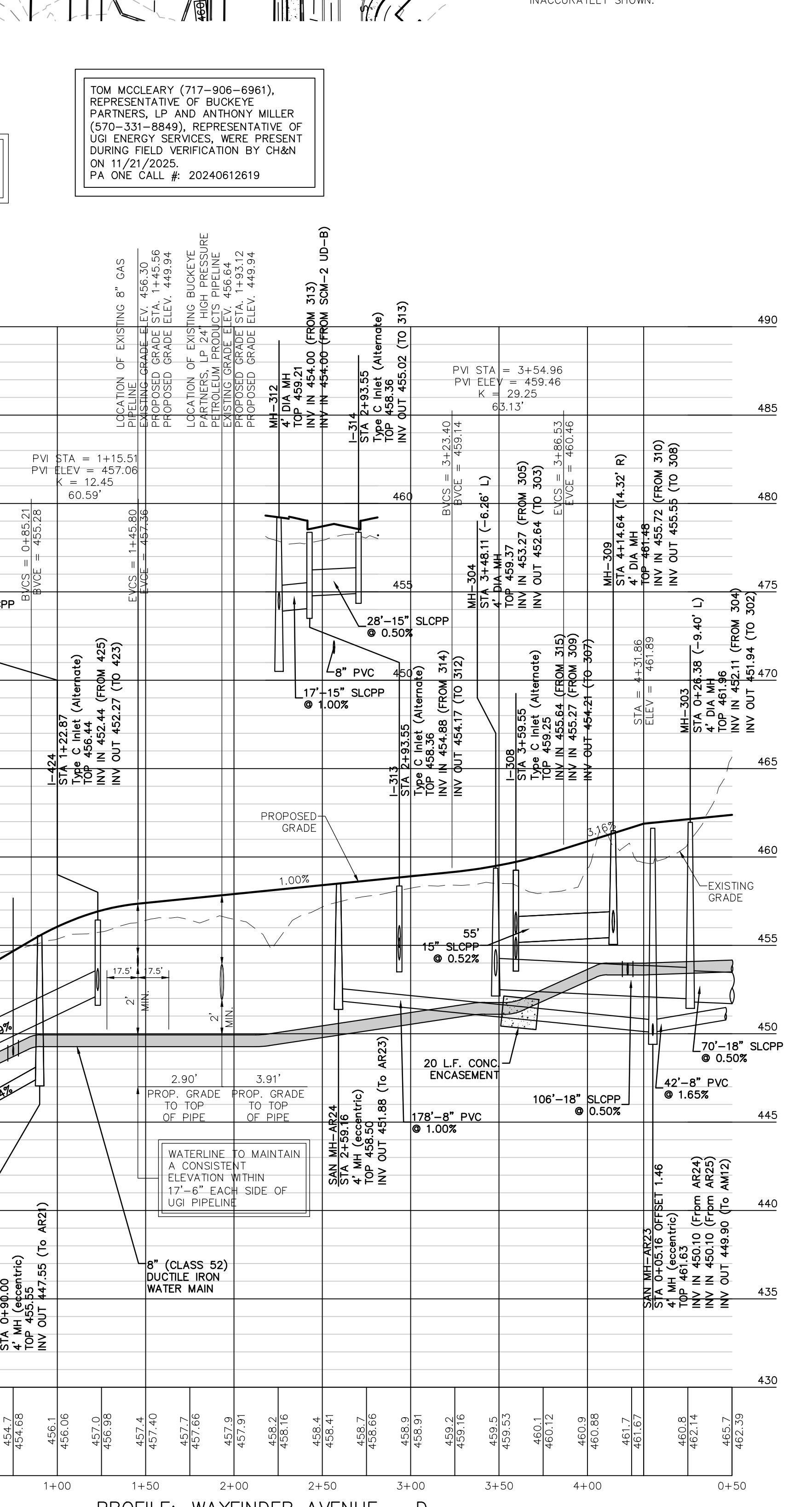
PROFILE: WAYFINDER AVENUE - A



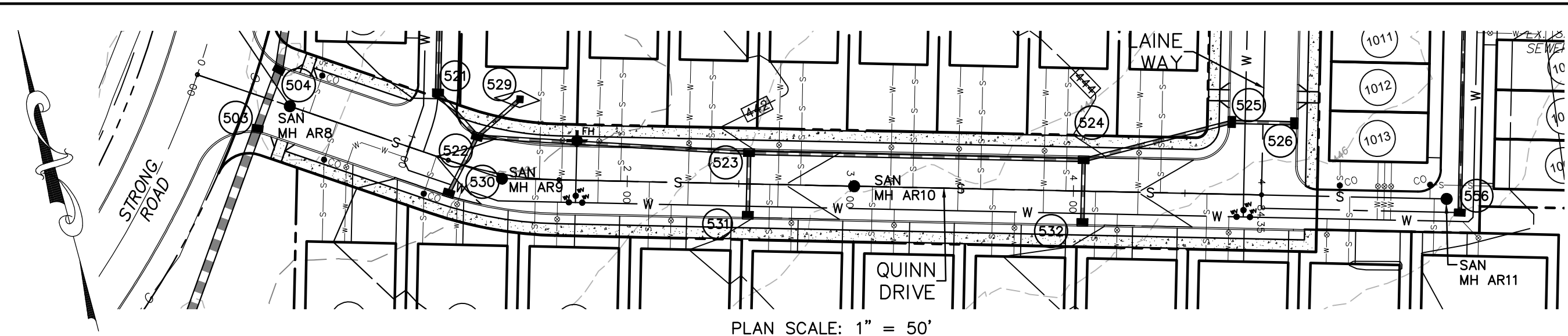
PROFILE: WAYFINDER AVENUE - B



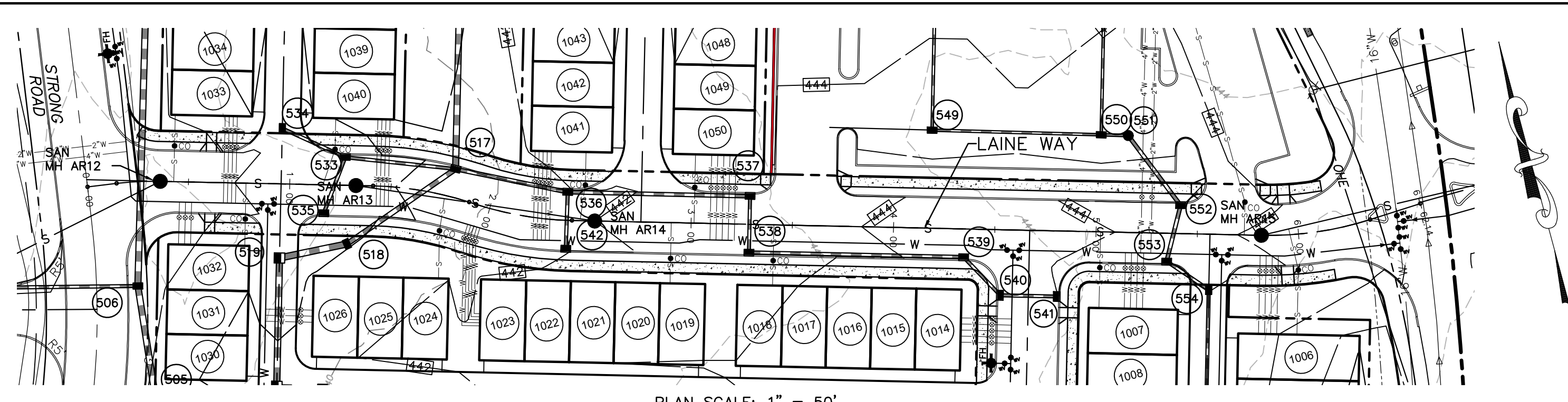
PROFILE: WAYFINDER AVENUE - C



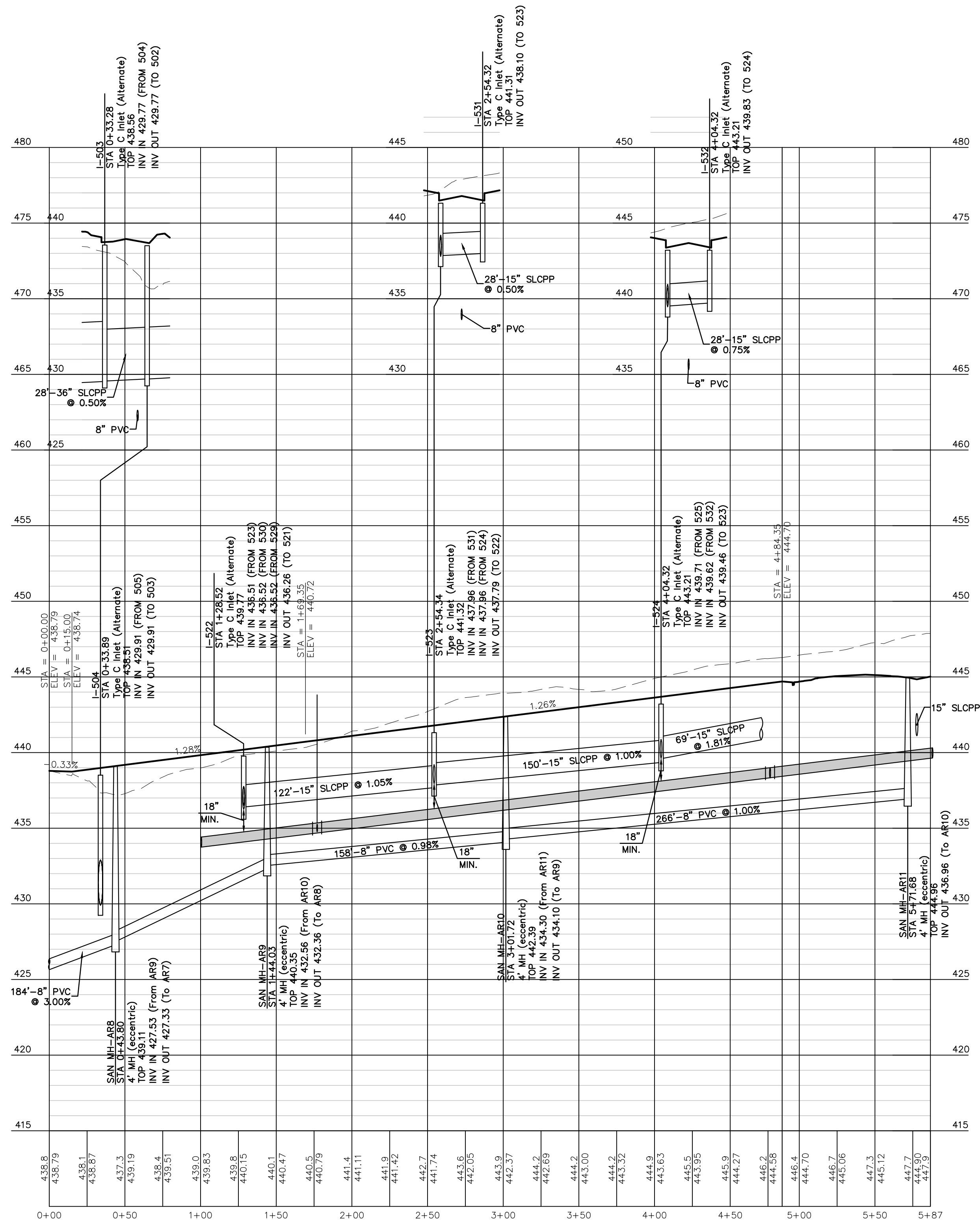
PROFILE: WAYFINDER AVENUE - D



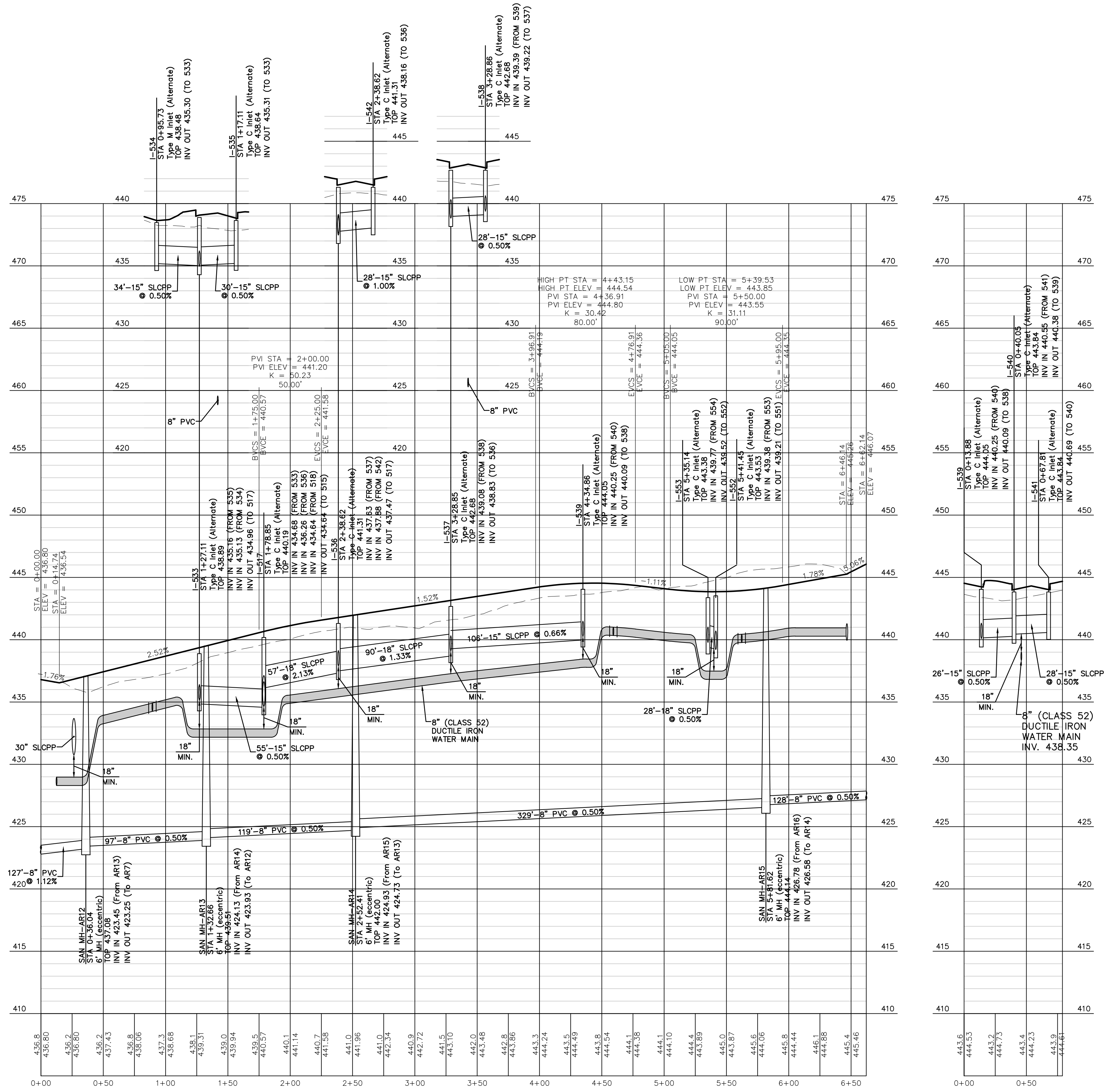
PLAN SCALE: 1" = 50'



PLAN SCALE: 1" = 50'



PROFILE: QUINN DRIVE  
SCALE HORZ.: 1" = 50' VERT.: 1" = 5'



PROFILE: LAINE WAY  
SCALE HORZ.: 1" = 50' VERT.: 1" = 5'

PROFILE: I-539 TO I-541  
SCALE HORZ.: 1" = 50' VERT.: 1" = 5'

Sheet Number: 66 of 81  
 Project Number: 15-100-35  
 Date: DECEMBER 17, 2025

**REMAINING ARCONA NEIGHBORHOODS**  
 Lower Allen Township - Cumberland County, PA  
 CHARTER Homes & Neighborhoods

**PLAN & PROFILES - NEIGHBORHOOD 5**

Project Manager: DAVID B. KEGERIZE PE  
 Project Engineer: G. MITCHELL KING PE, PLS  
 Project Surveyor: THOMAS K. PHILLIPS PLS

Drafting: D TURNER  
 Checked by: K POSTLETHWAIT

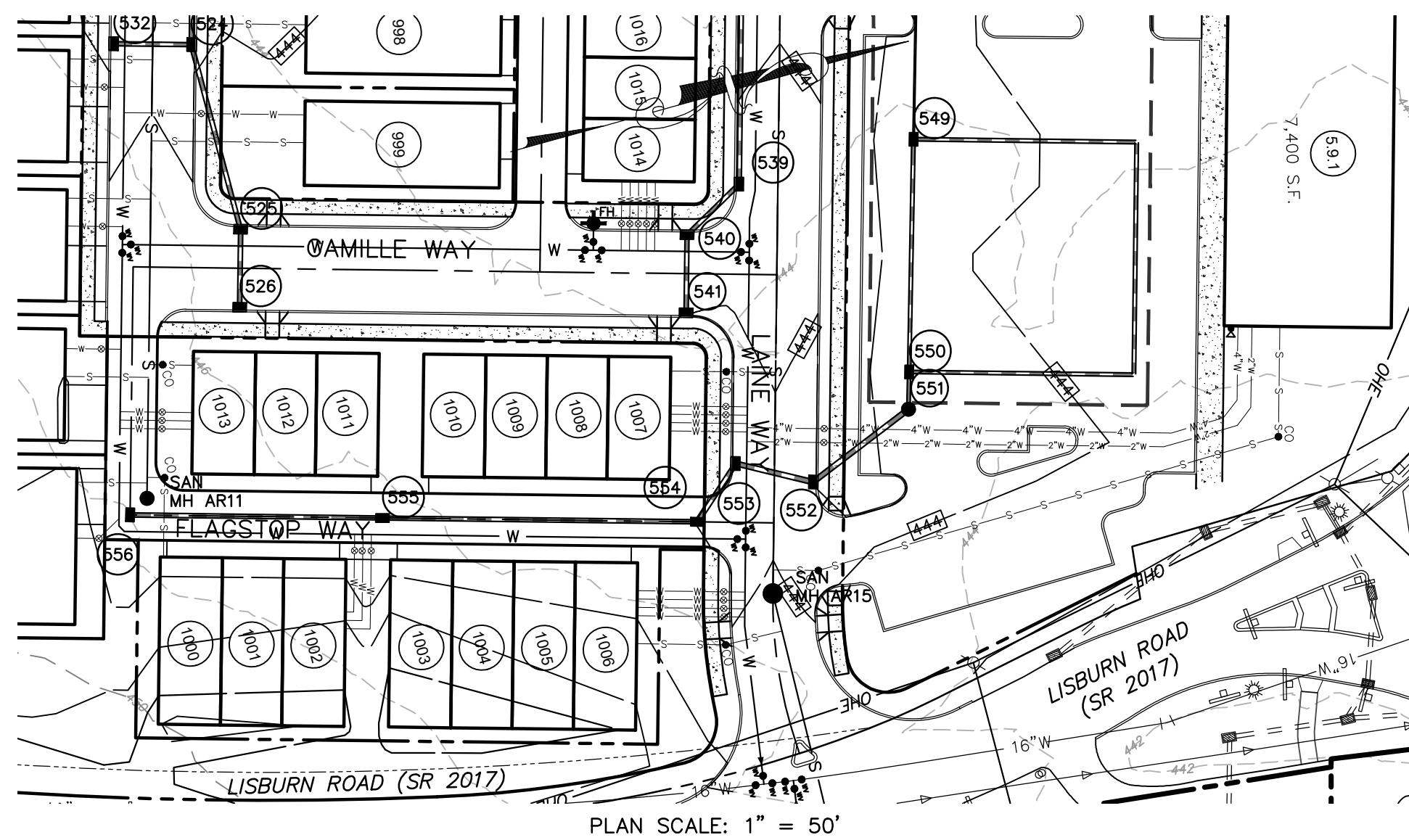
Scale: 1" = 50'

313 W. Liberty St., Suite 241  
**TOWNE SQUARE**  
 ENGINEERING  
 Lancaster, PA 17603  
 Phone: (717) 283-4338  
 info@townesquareengineering.com

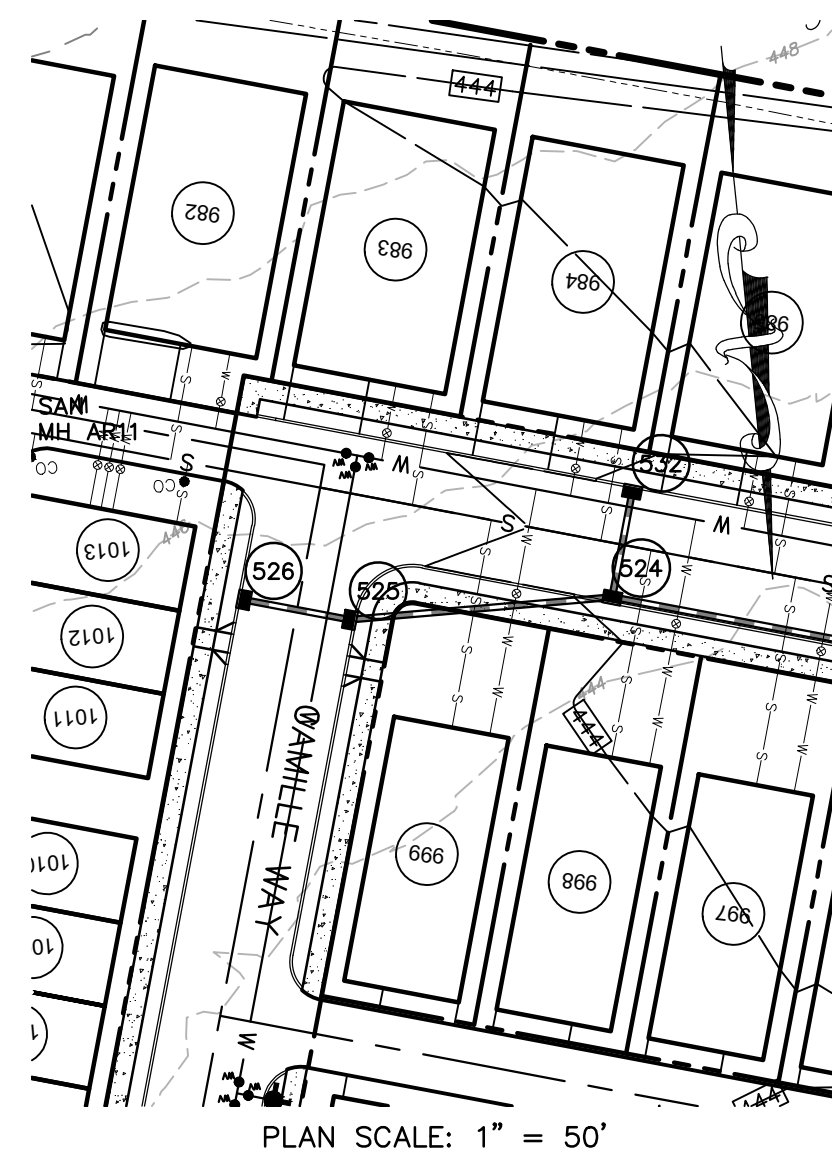
3/27/26 ADDRESS TMP. ENG. LTR. DATED 3/19/26  
 2/24/26 UPDATE PLAN TO REMOVE NEIGHBORHOOD 7  
 2/10/26 ADDRESS CDD & TMP. ENG. COMMENTS  
 1/19/26 REVISOR FOR CHN CHANGES

Section Number: PF-3

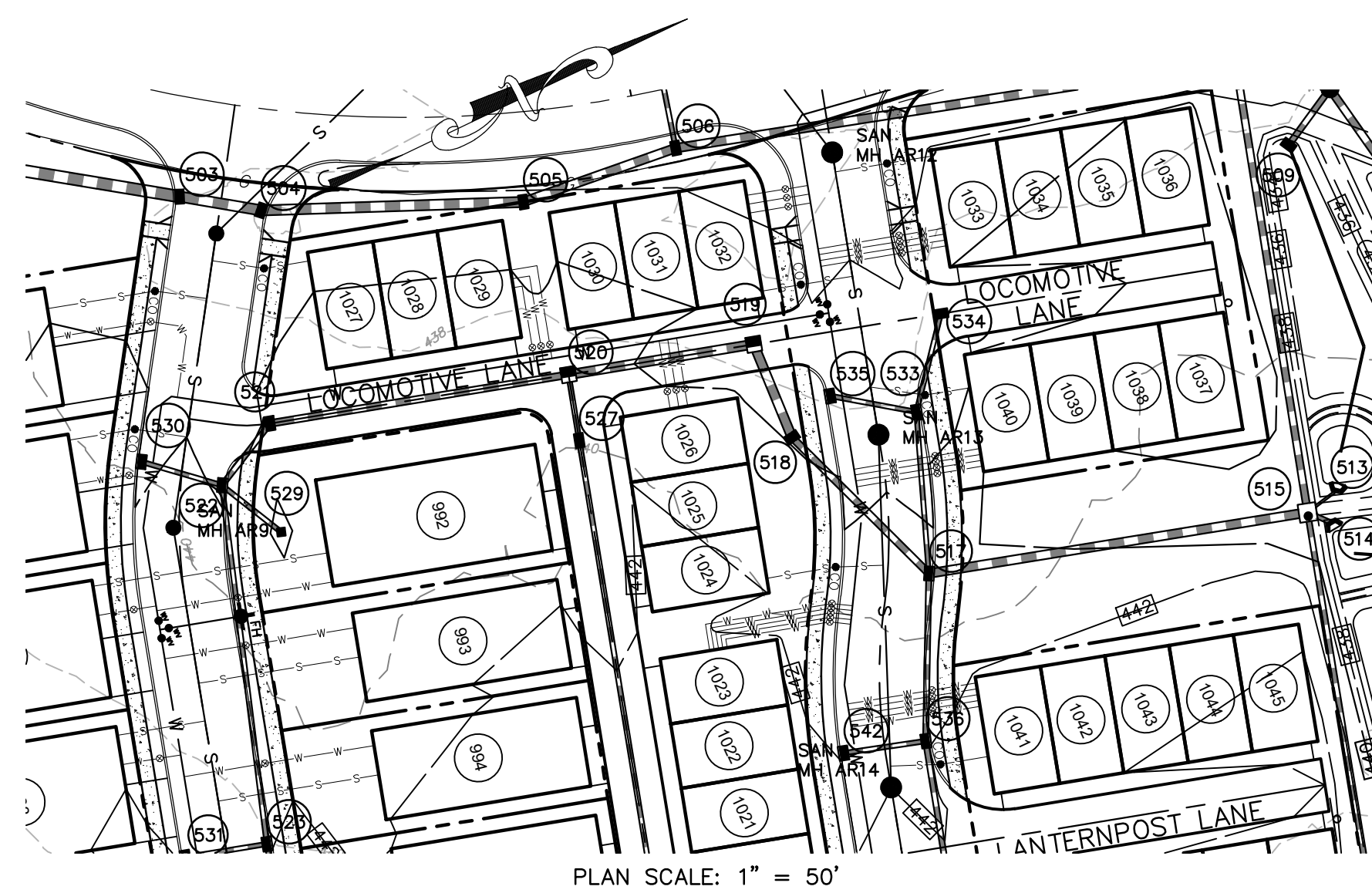
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PLAN SCALE: 1" = 50'

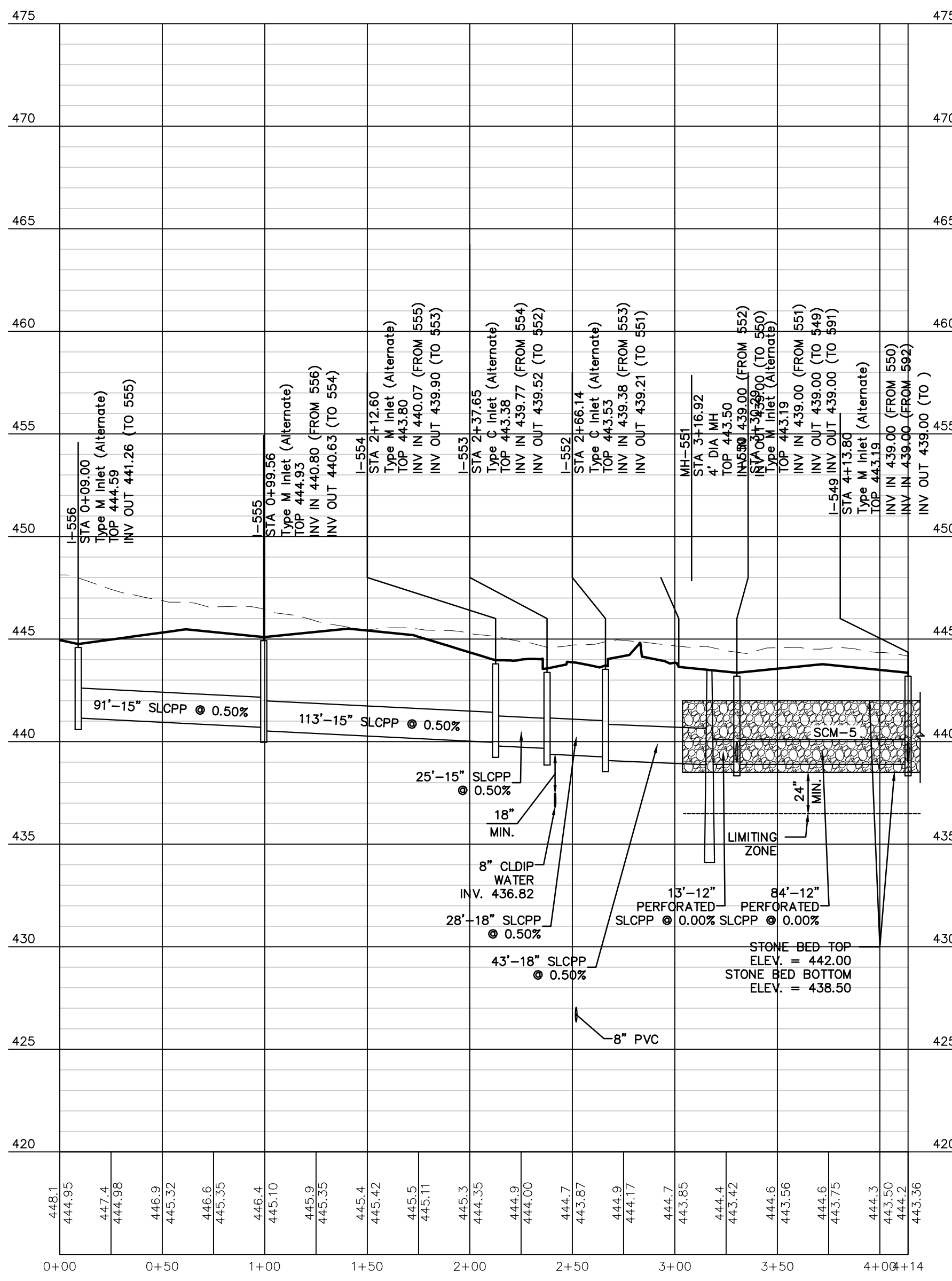


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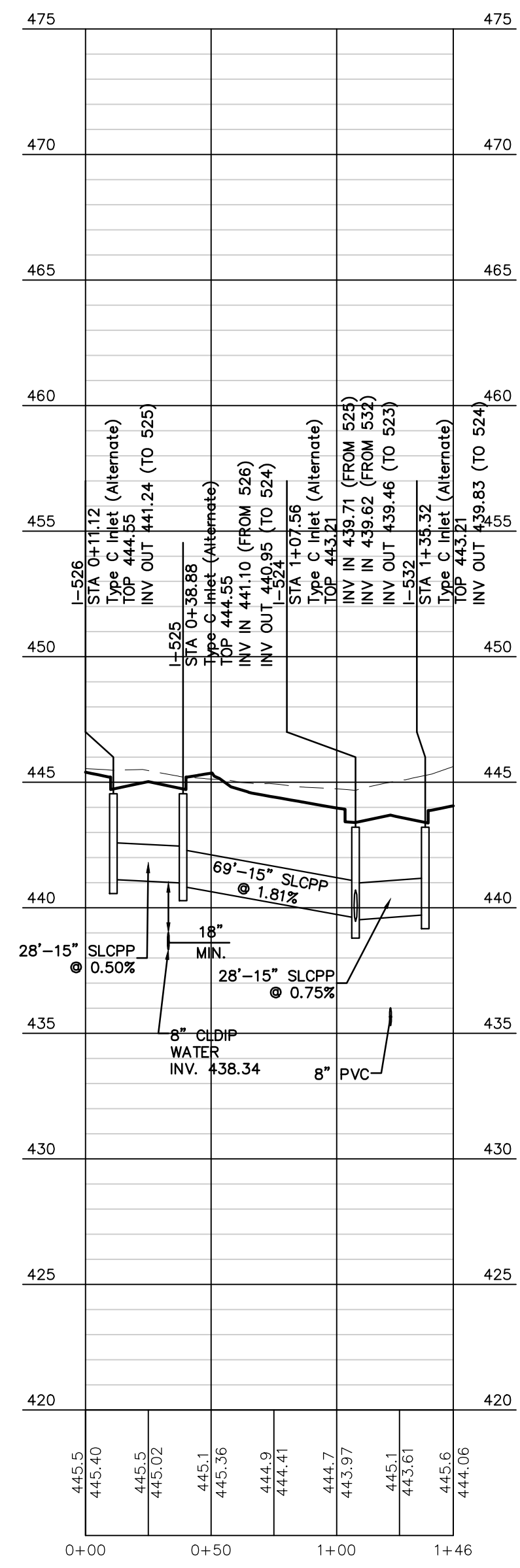


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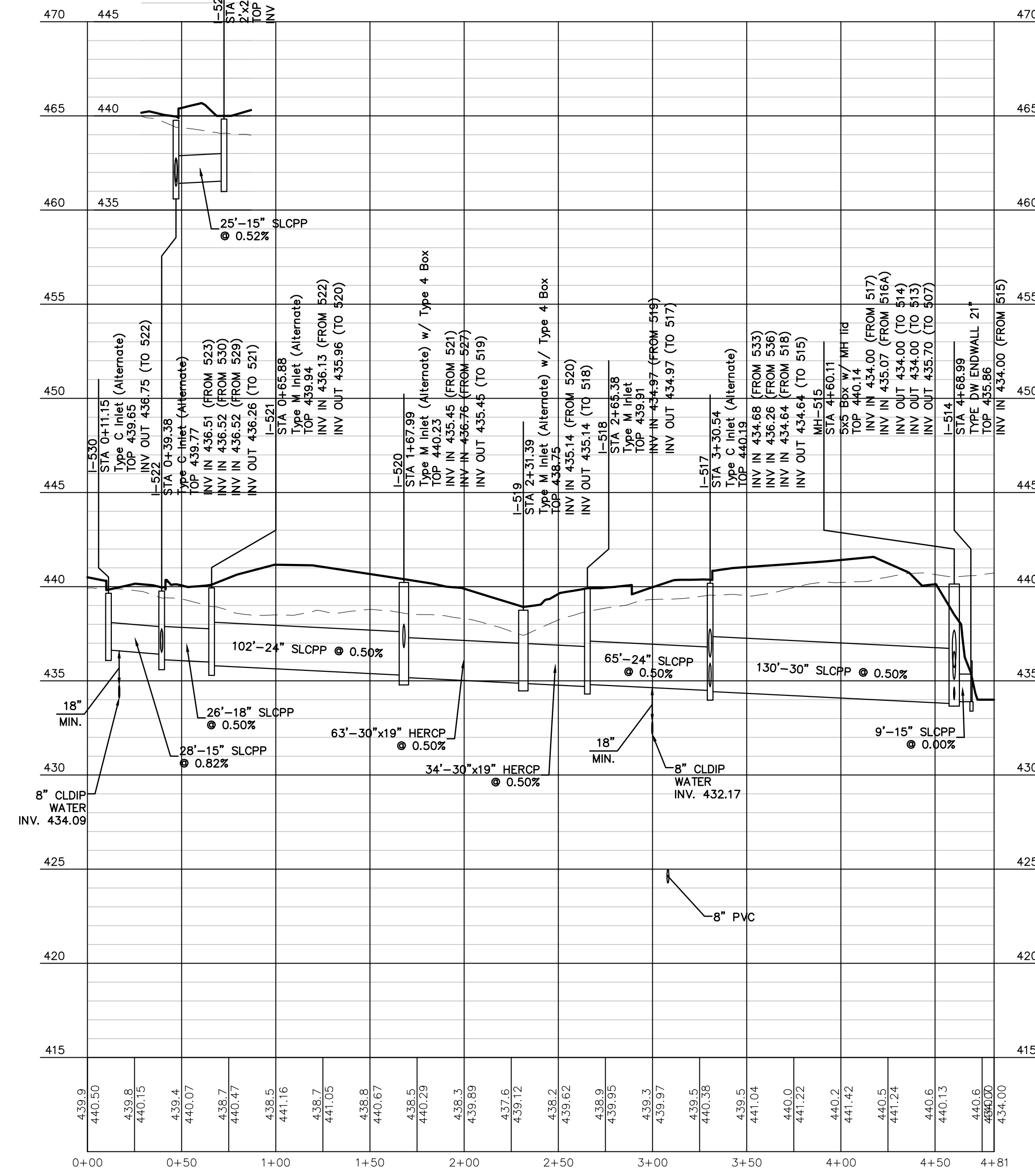
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PROFILE: I-556 TO I-549  
SCALE HORZ.: 1" = 50' VERT.: 1" = 5'

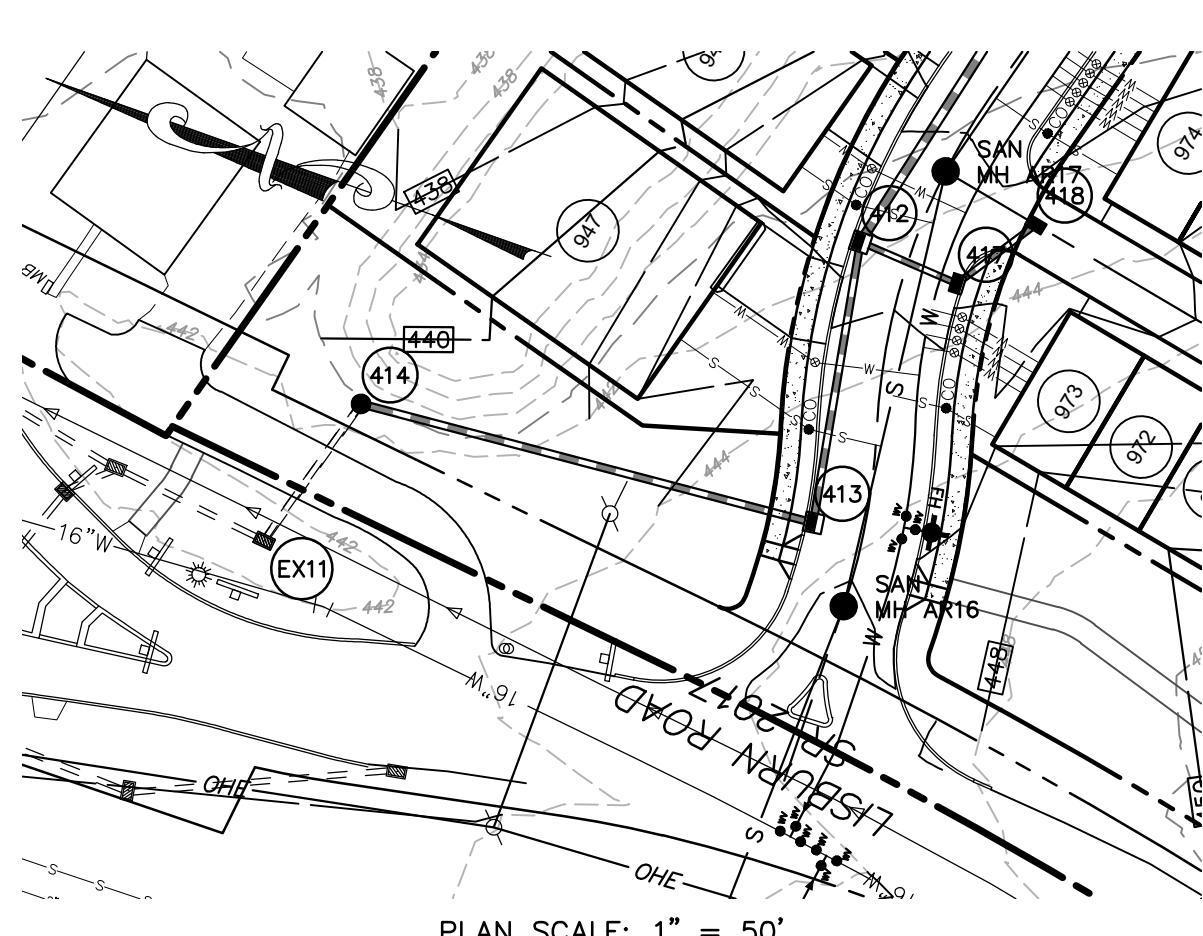


PROFILE: I-526 TO I-532  
SCALE HORZ.: 1" = 50' VERT.: 1" = 5'



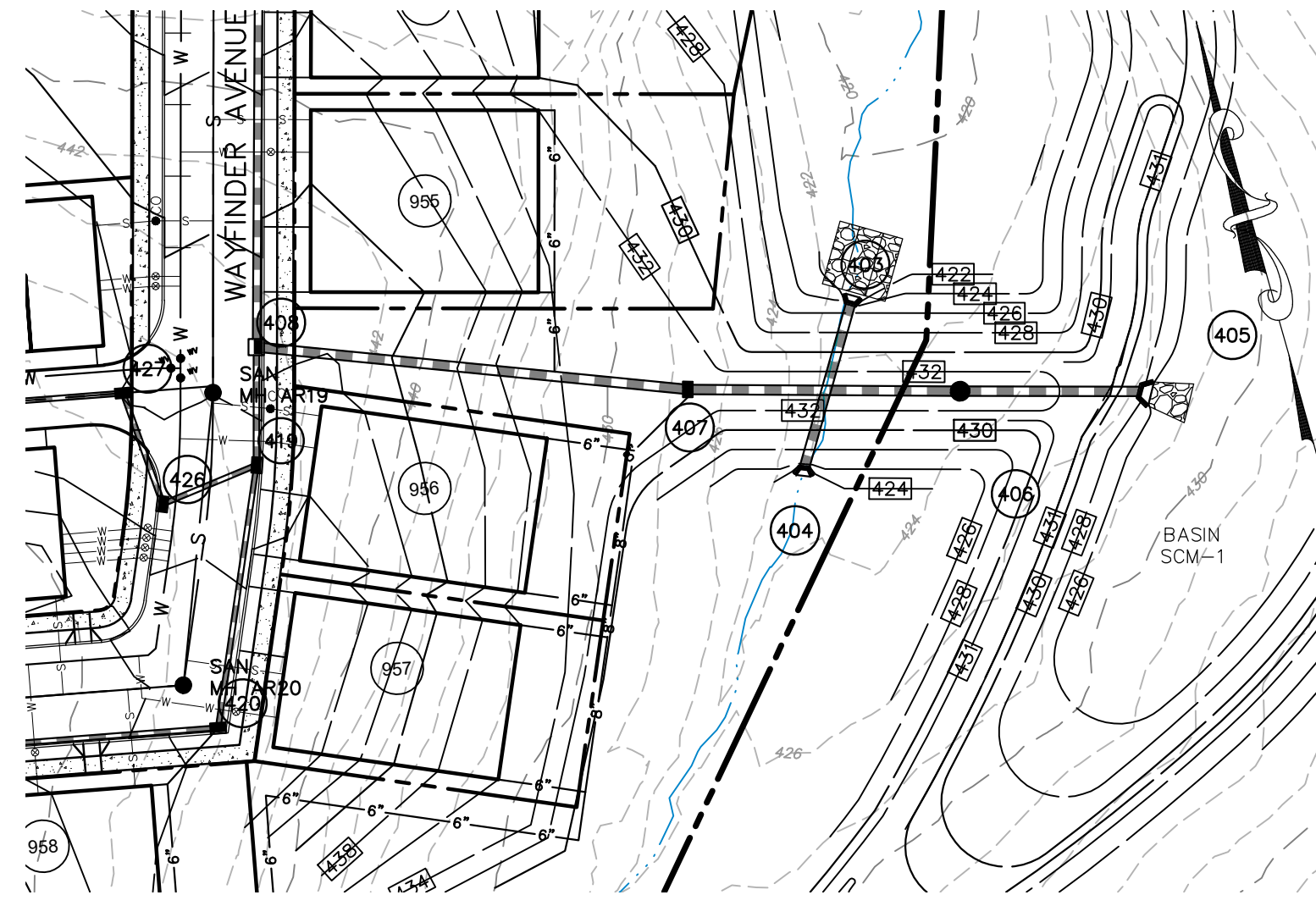
PROFILE: I-530 TO I-514  
SCALE HORZ.: 1" = 50' VERT.: 1" = 5'



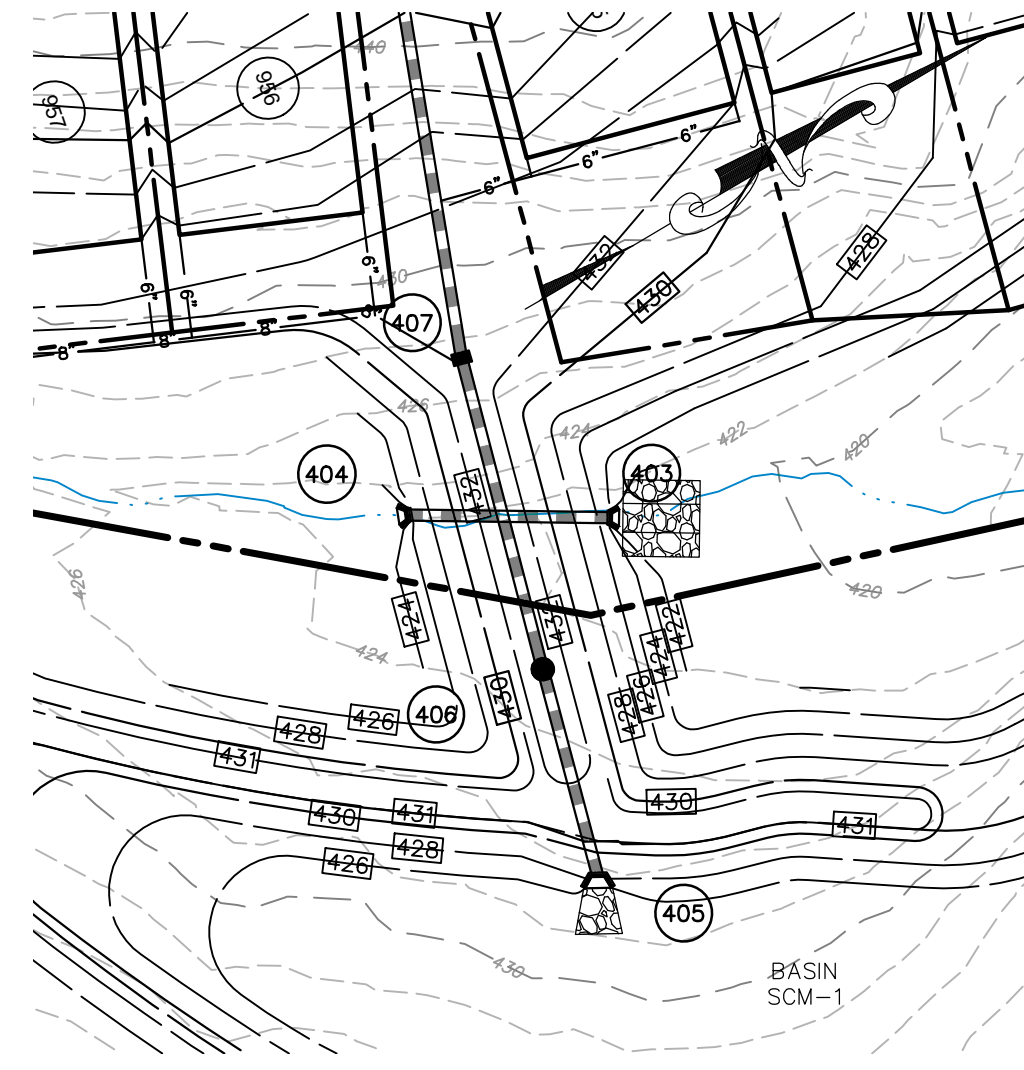


PLAN SCALE: 1" = 50'

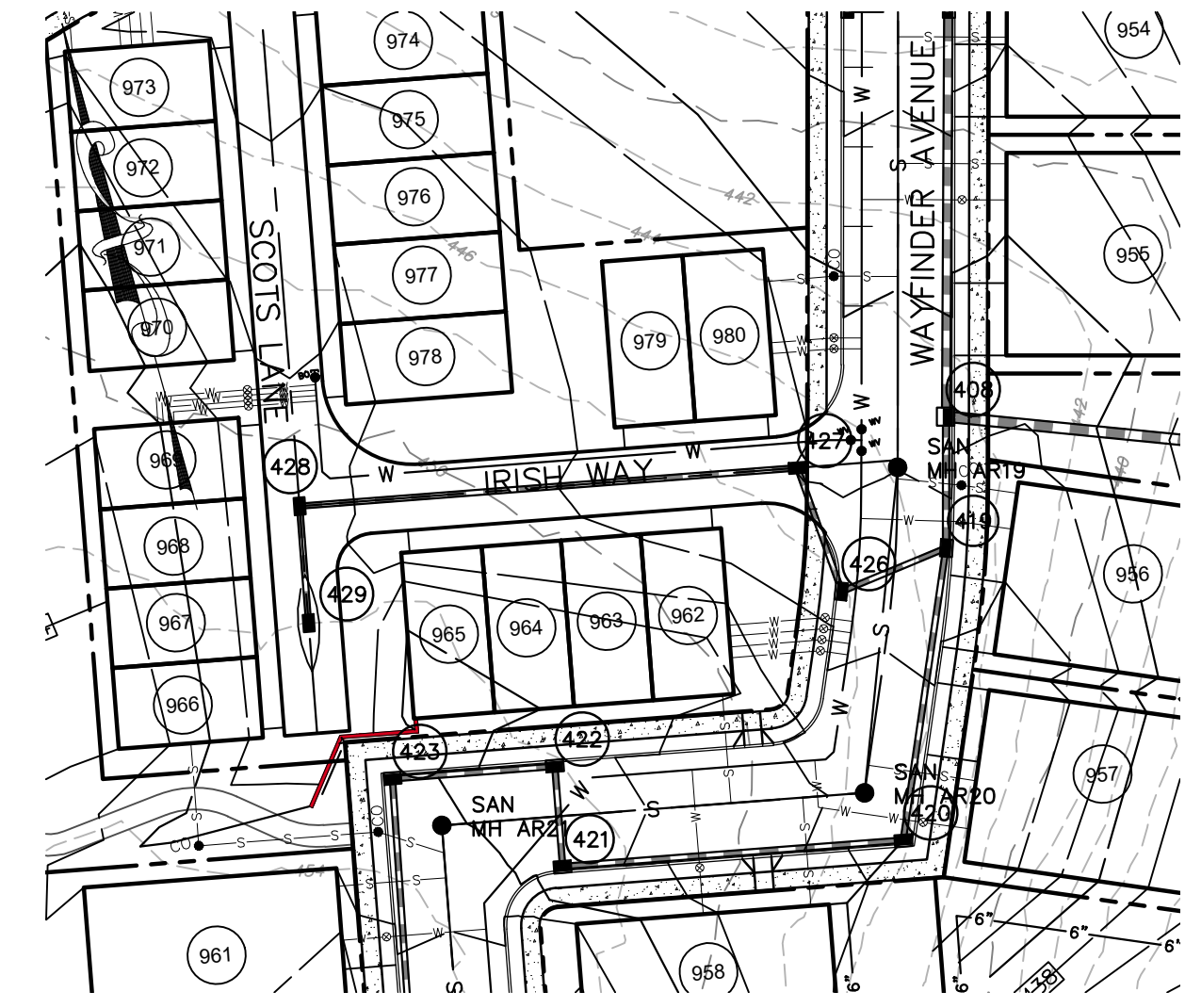
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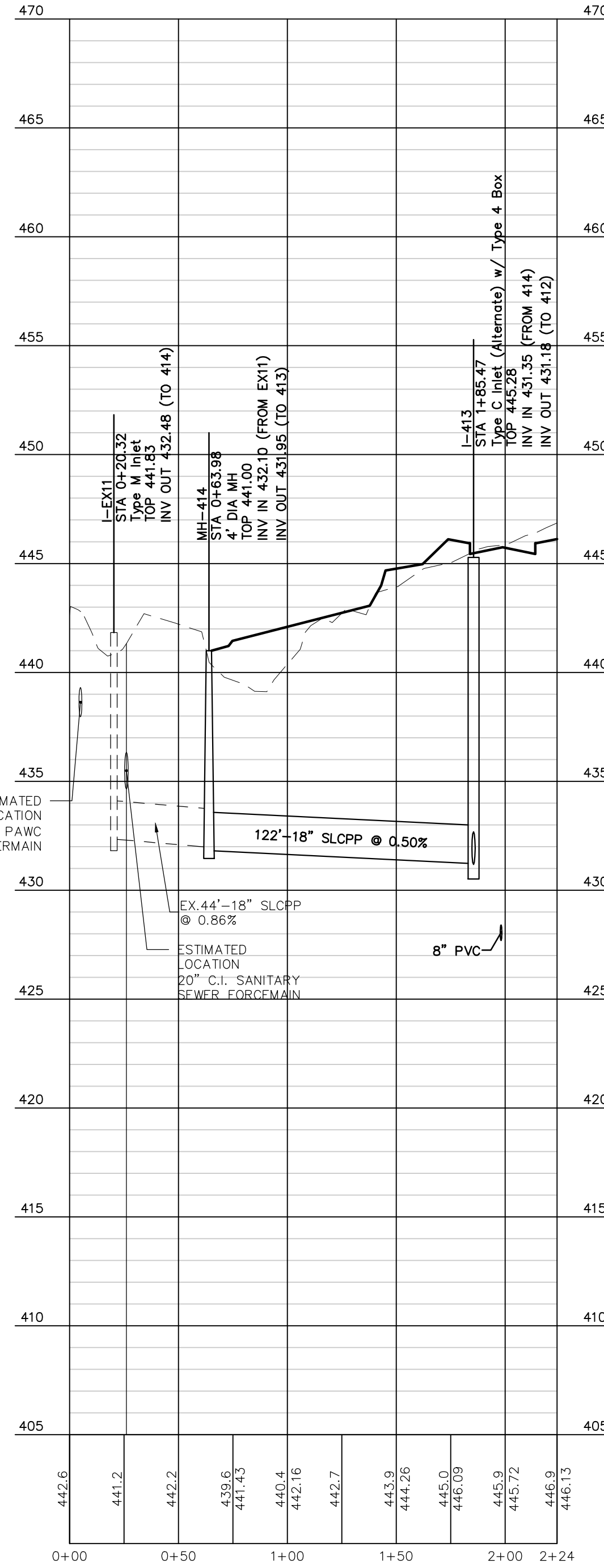
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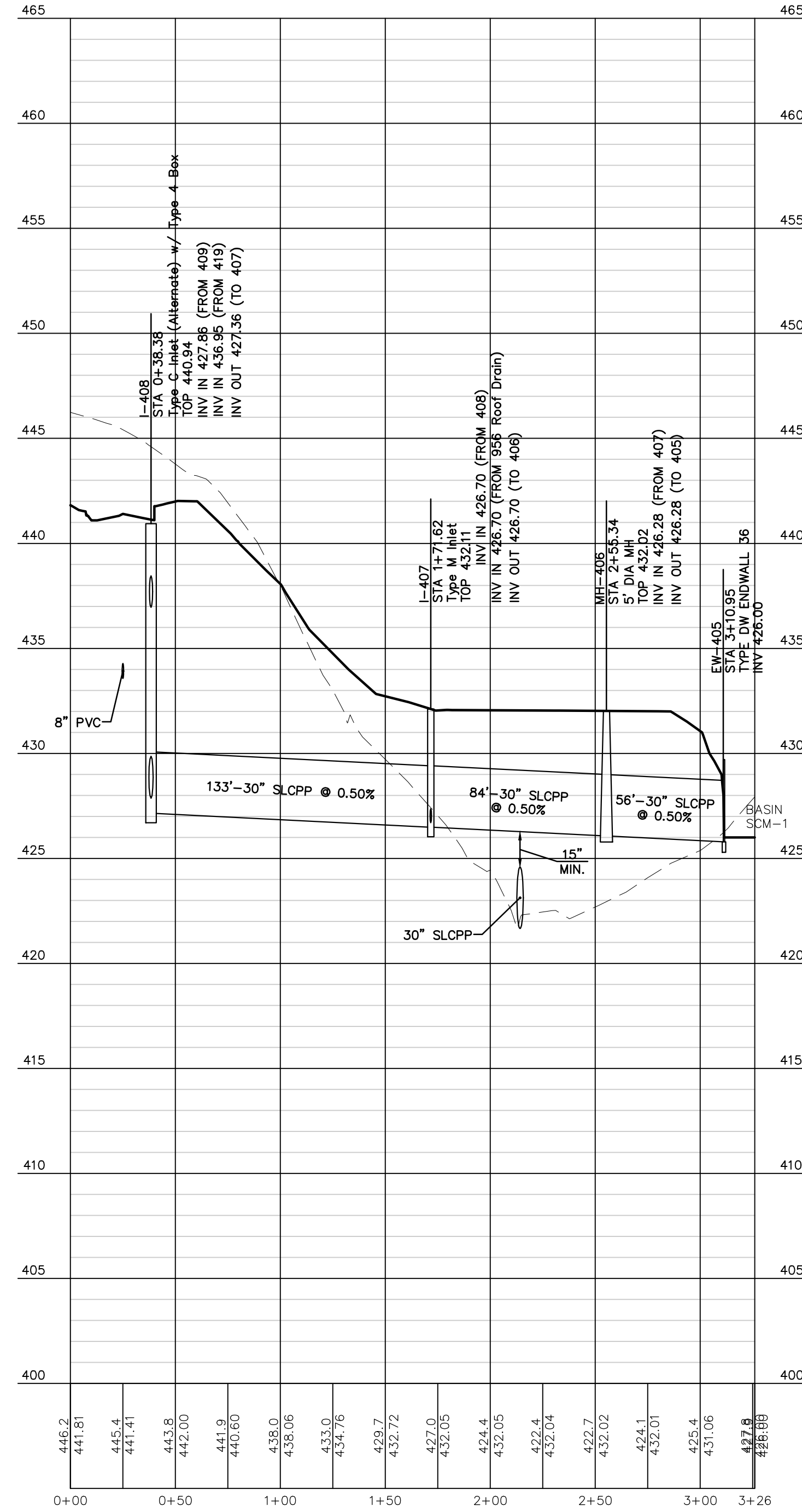
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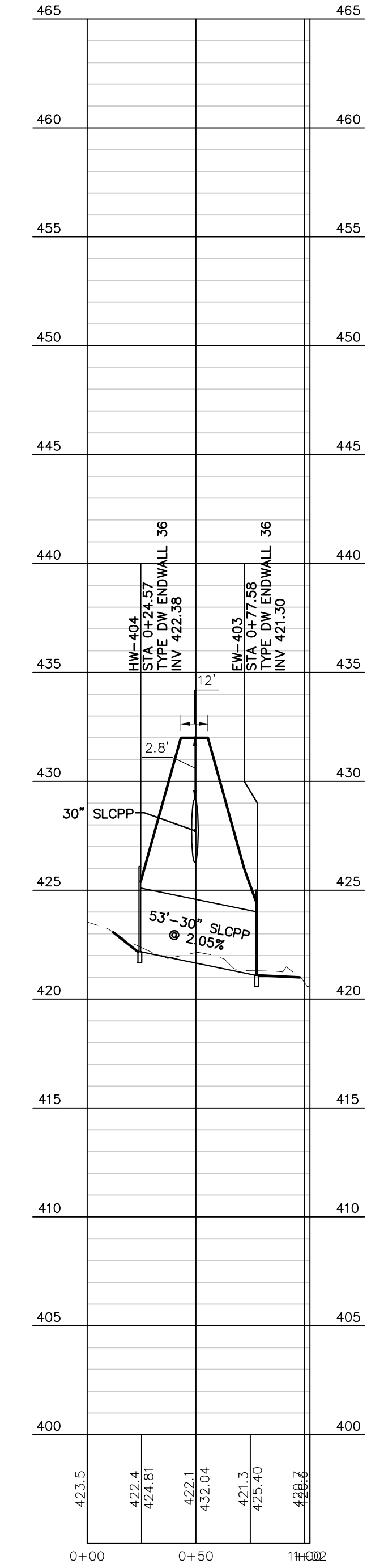
PLAN SCALE: 1" = 50'



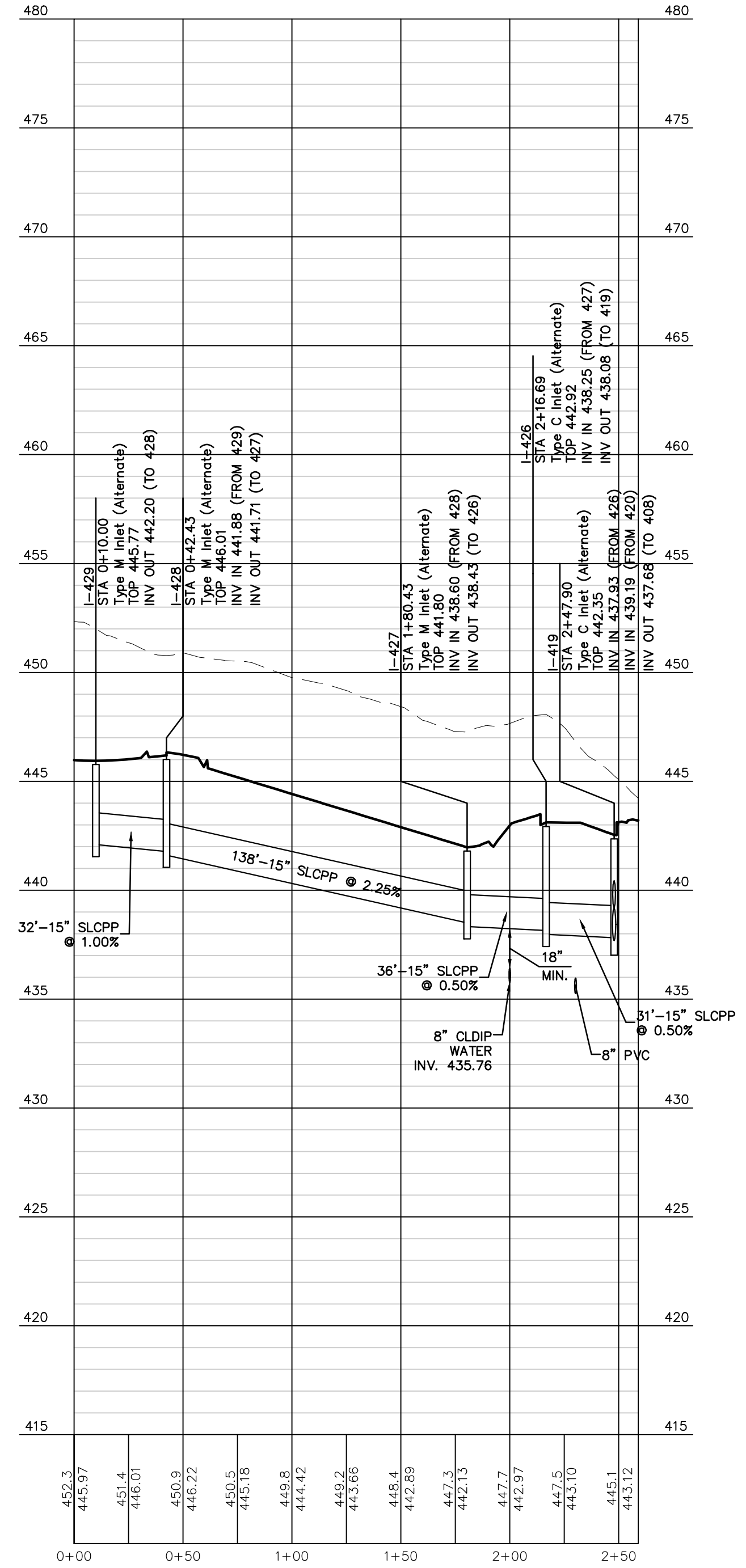
PROFILE: EX I-11 TO I-143  
SCALE HORZ.: 1" = 50' VERT.: 1" = 5'



PROFILE: I-408 TO EW-405  
SCALE HORZ.: 1" = 50' VERT.: 1" = 5'



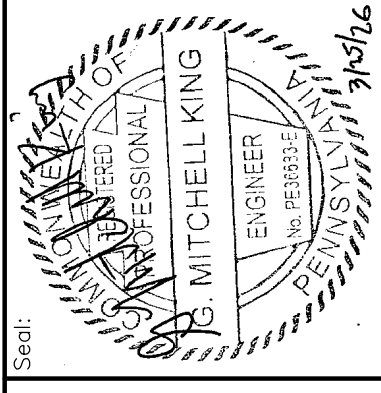
PROFILE: HW-404 TO EW-403  
SCALE HORZ.: 1" = 50' VERT.: 1" = 5'



PROFILE: I-429 TO I-419  
SCALE HORZ.: 1" = 50' VERT.: 1" = 5'

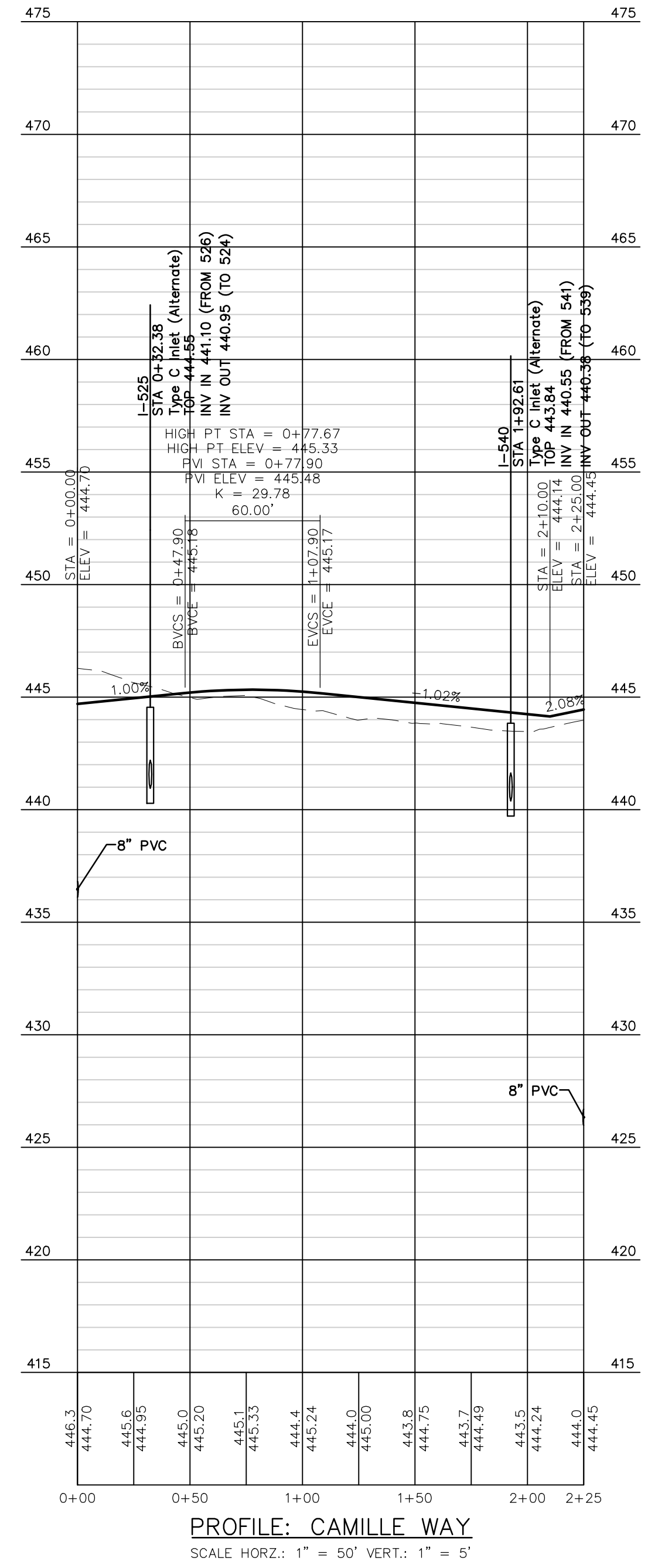
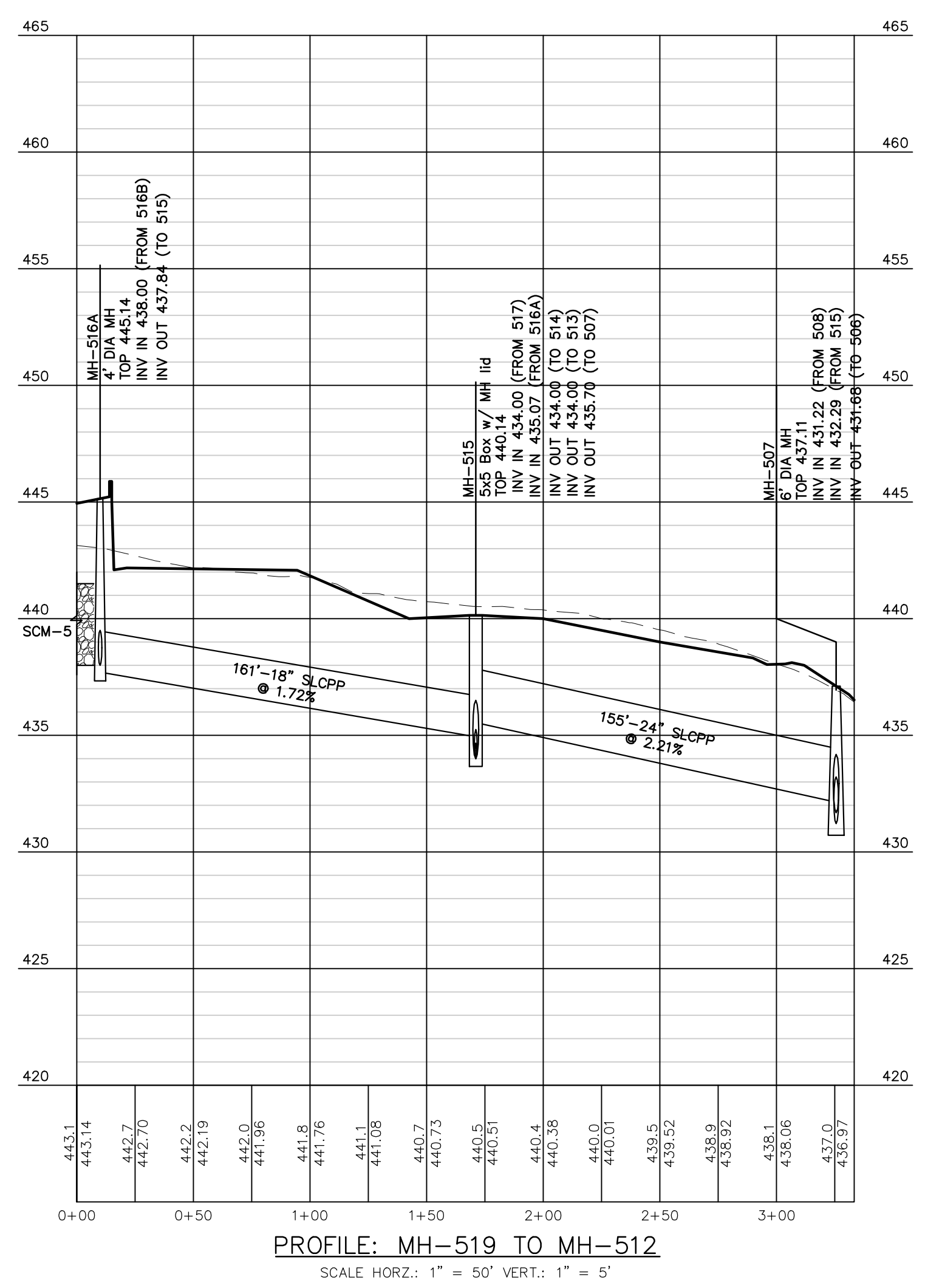
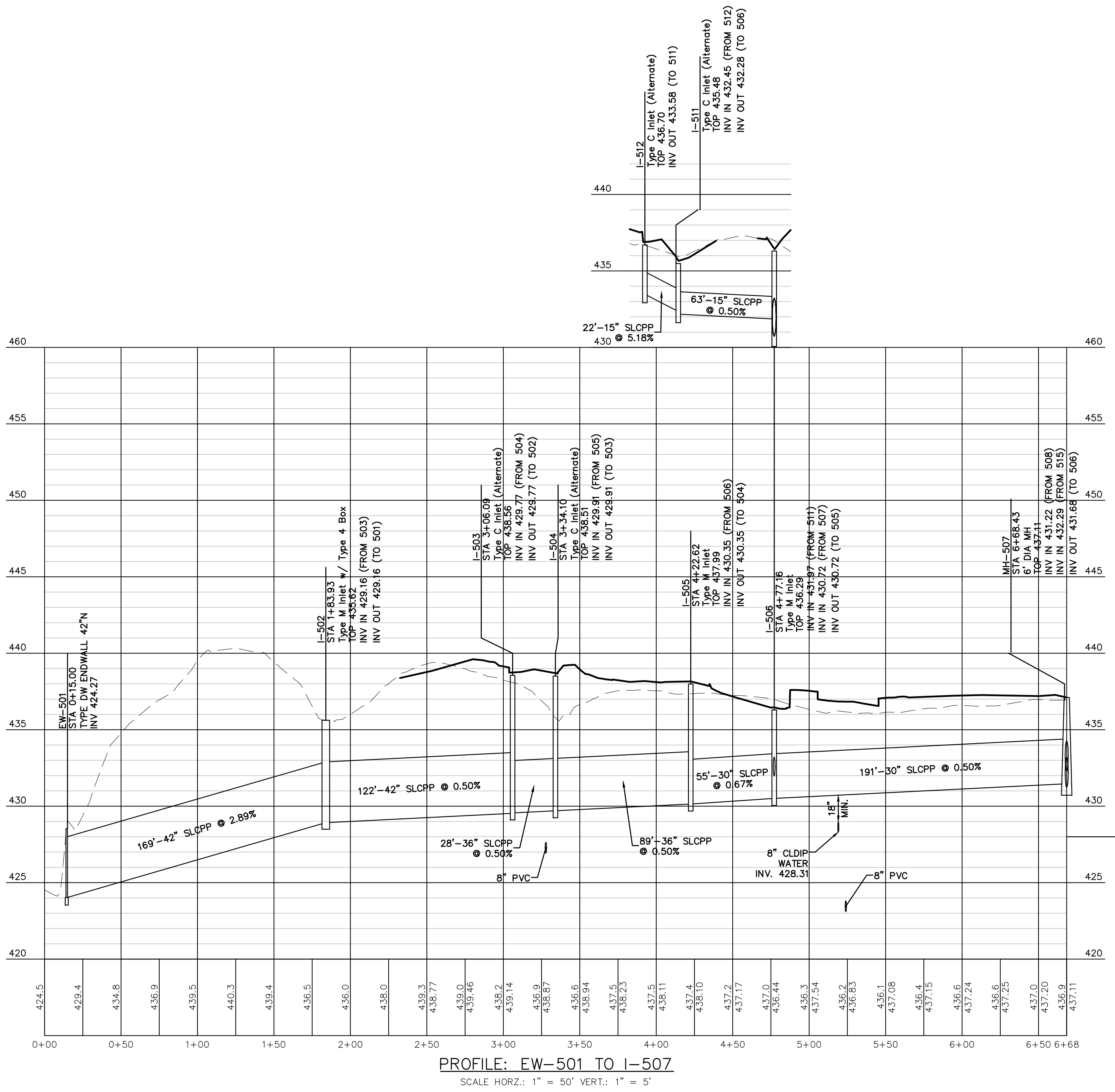
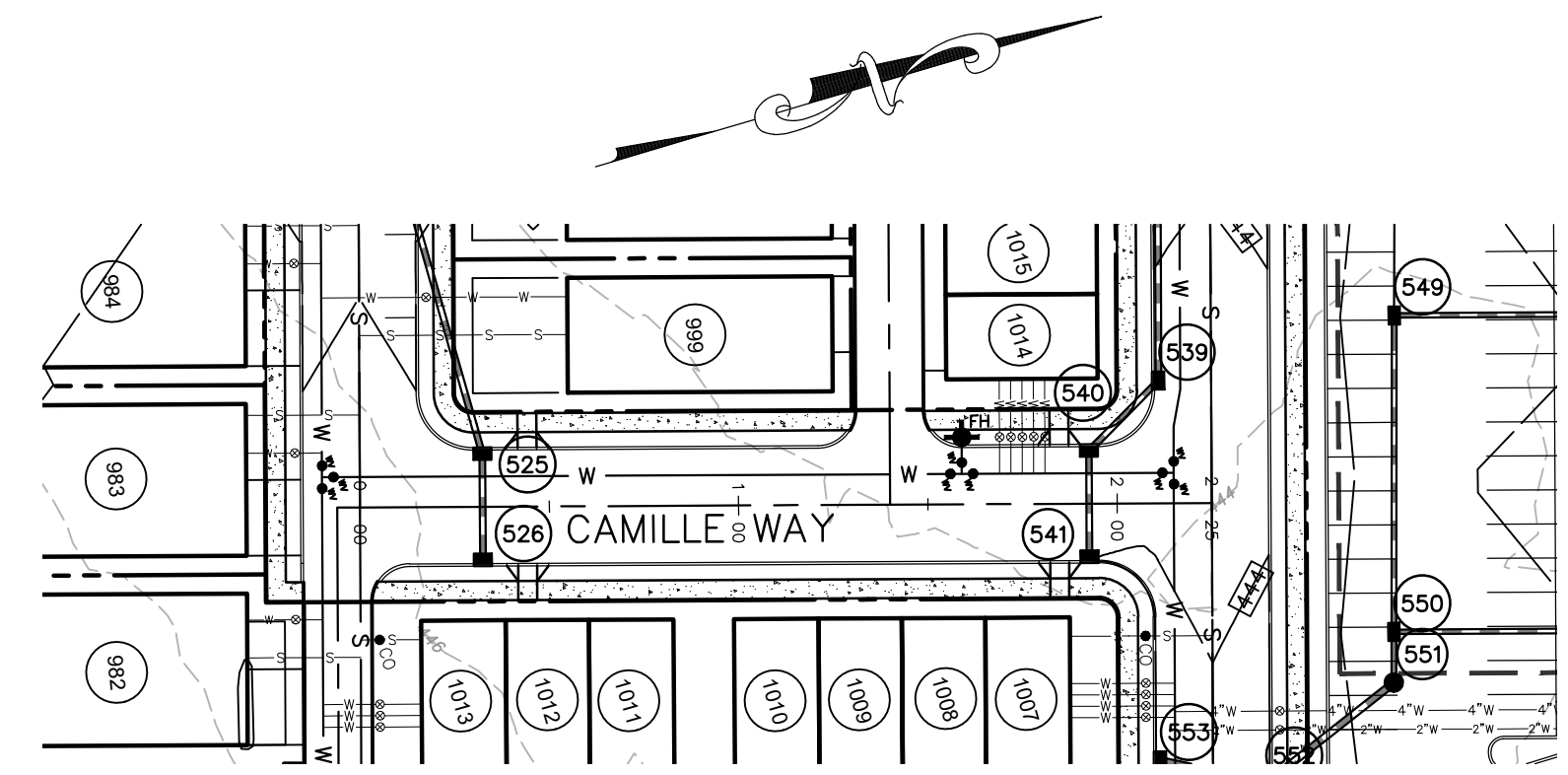
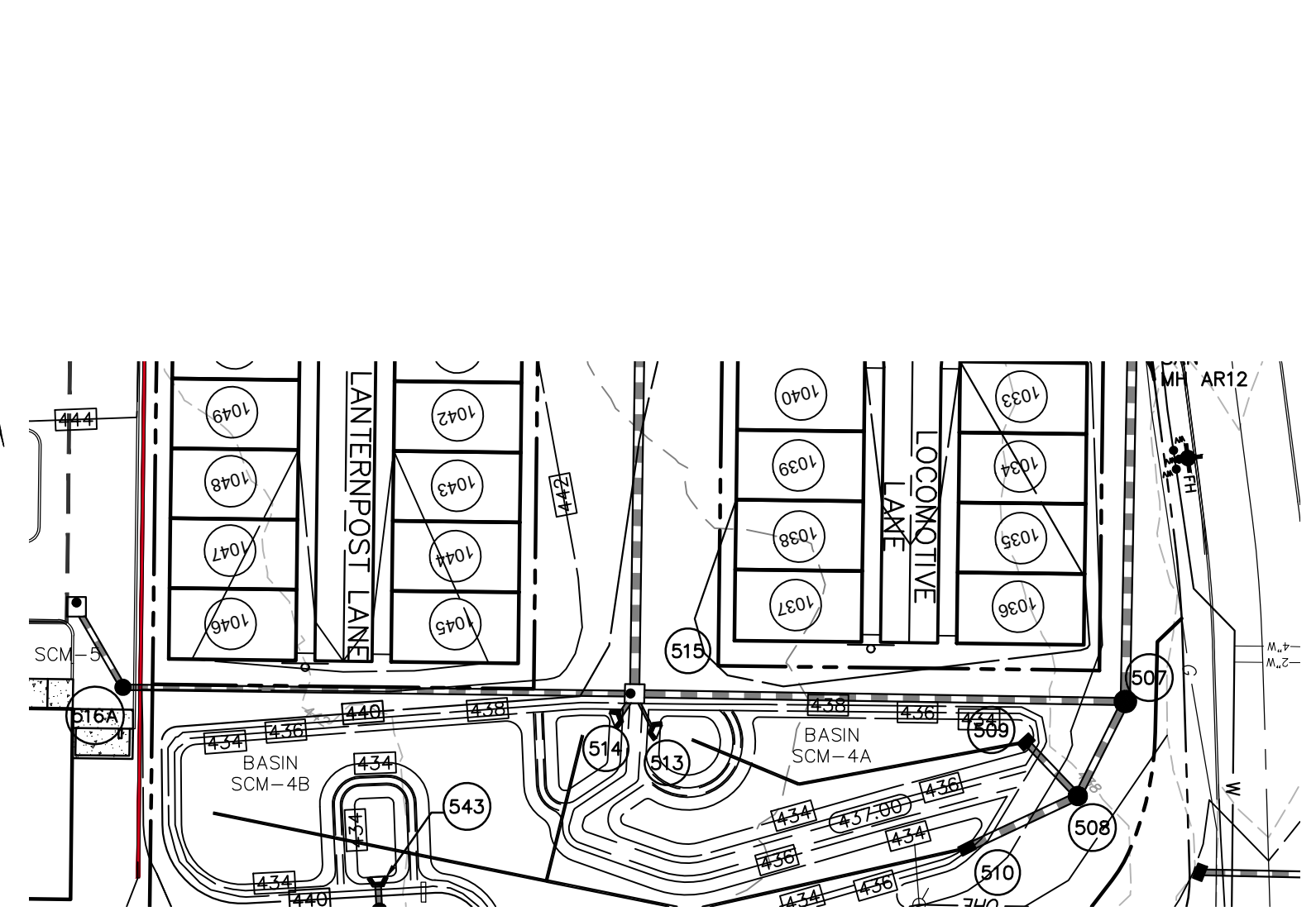
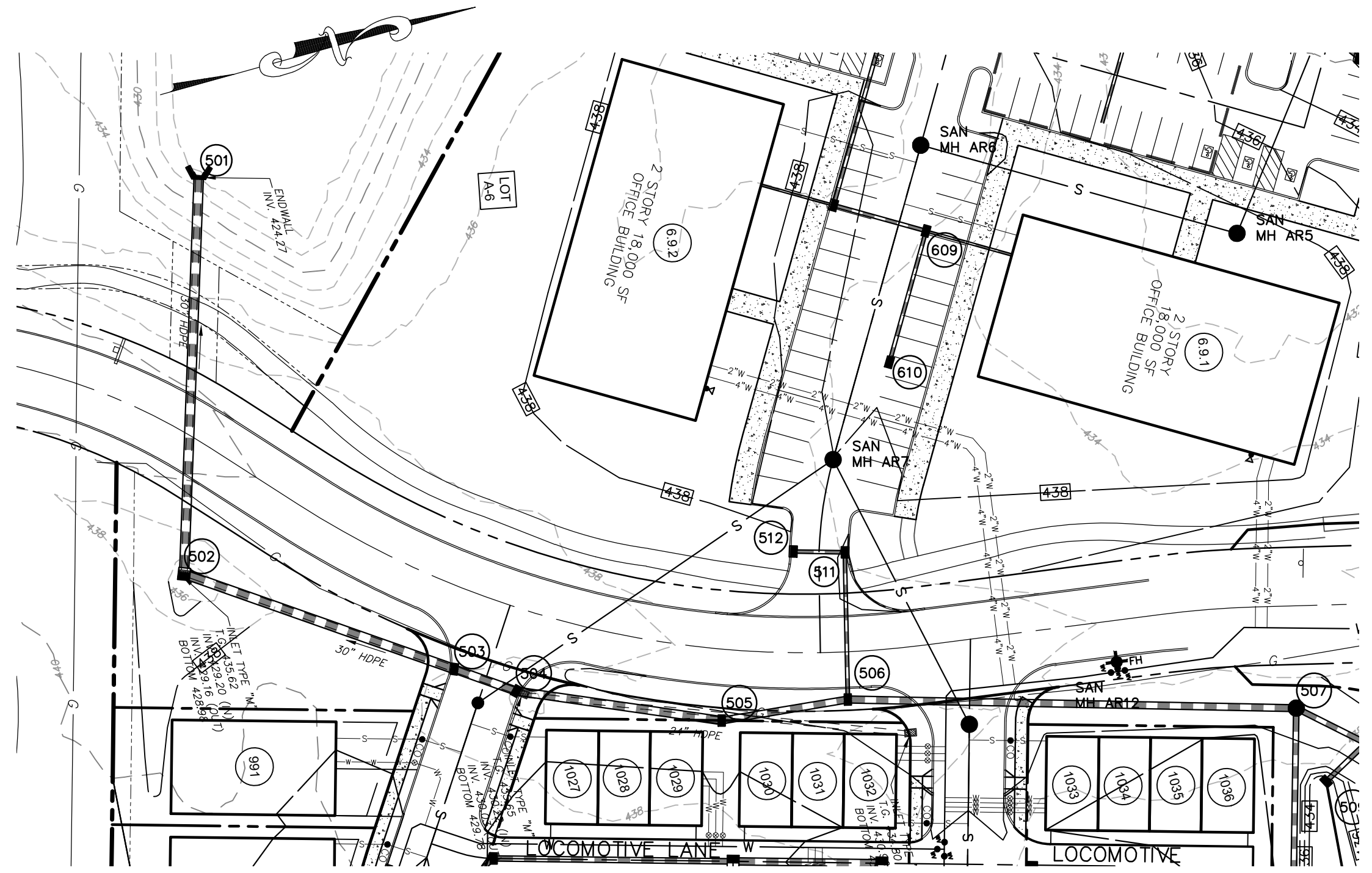
**REMAINING ARCONA NEIGHBORHOODS**  
Lower Allen Township - Cumberland County, PA  
CHARTER HOMES & NEIGHBORHOODS

Drafting: D TURNER  
Checked by: K POSTLETHWAIT  
Project Manager: DAVID B. KEGERIZE PE  
Project Engineer: G. MITCHELL KING PE, PLS  
Project Surveyor: THOMAS K. PHILLIPS PLS  
Scale: 1" = 50'

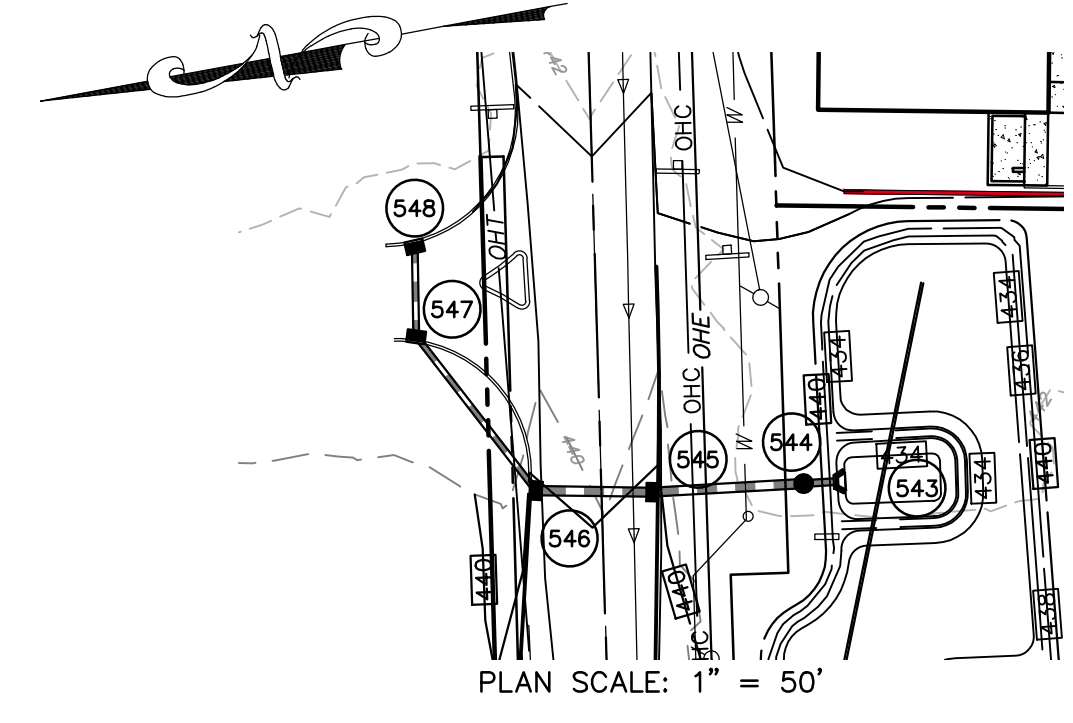
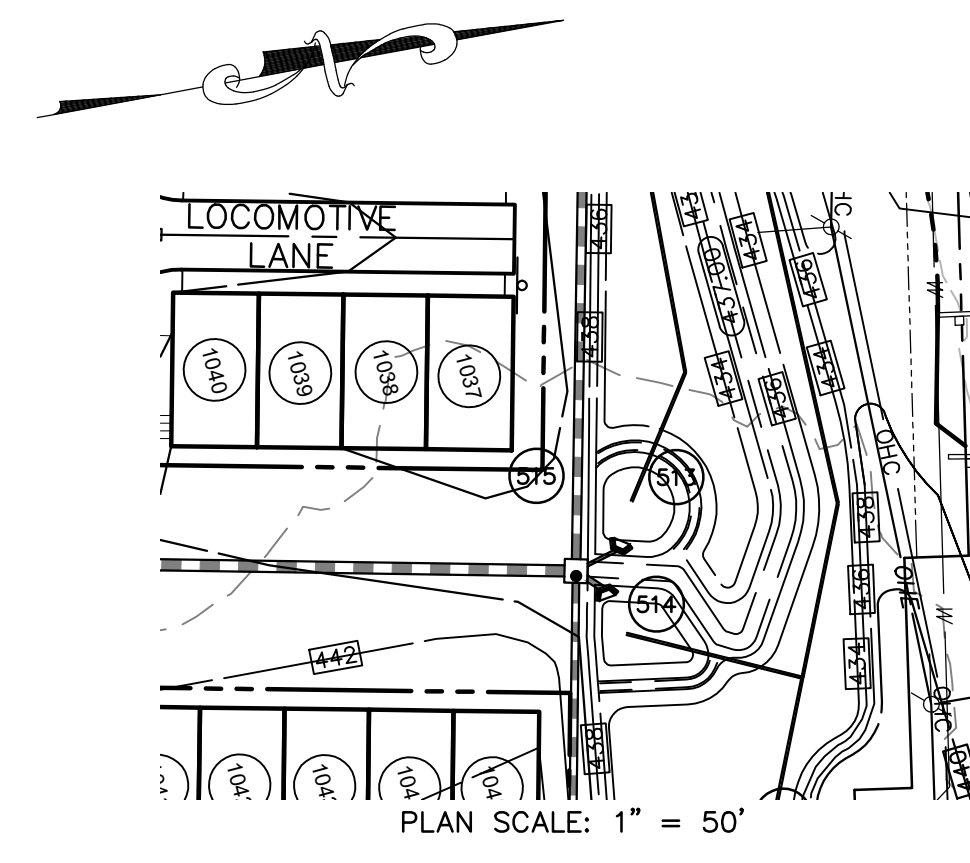
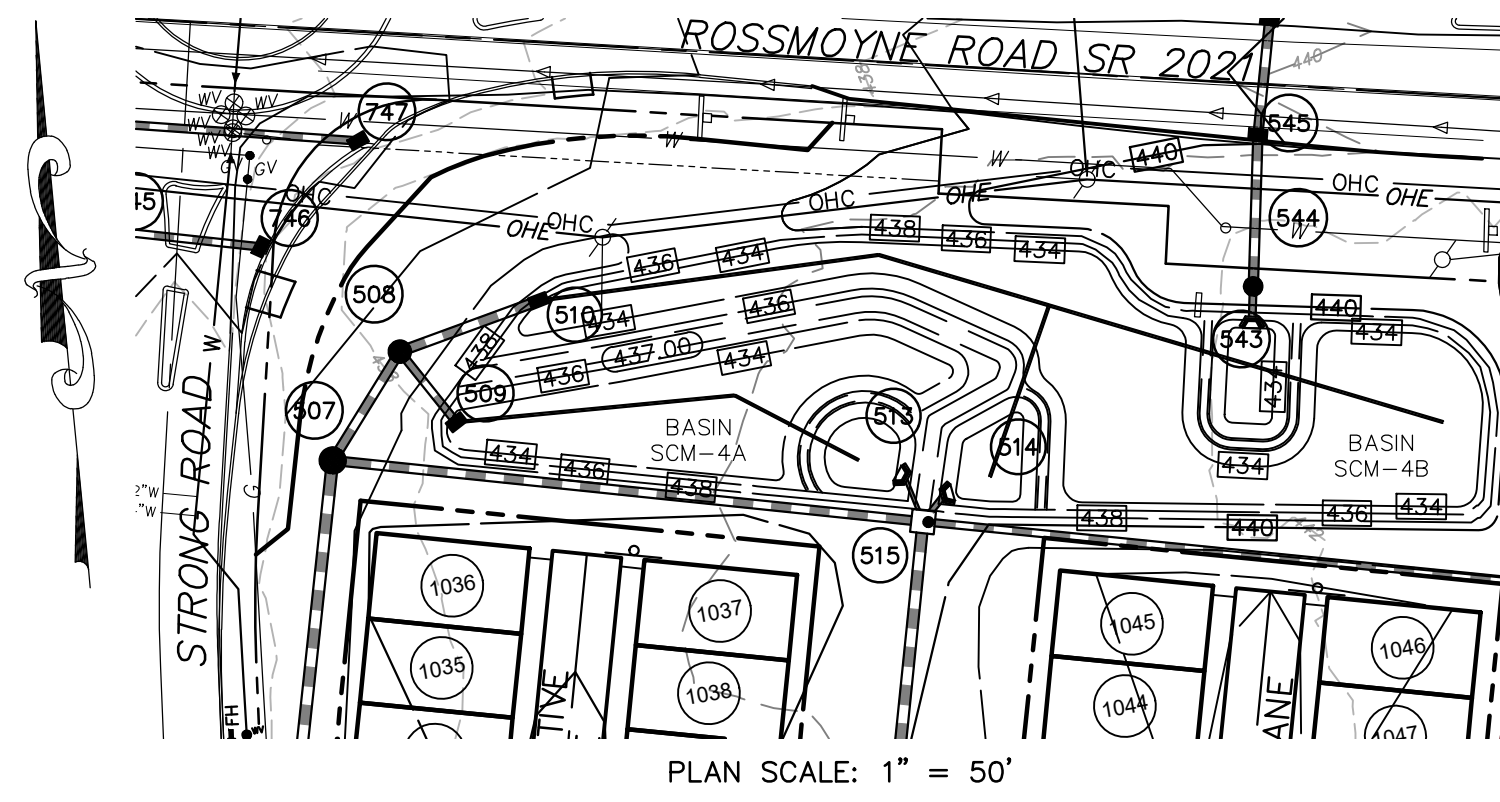


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Civil Engineers & Land Planners  
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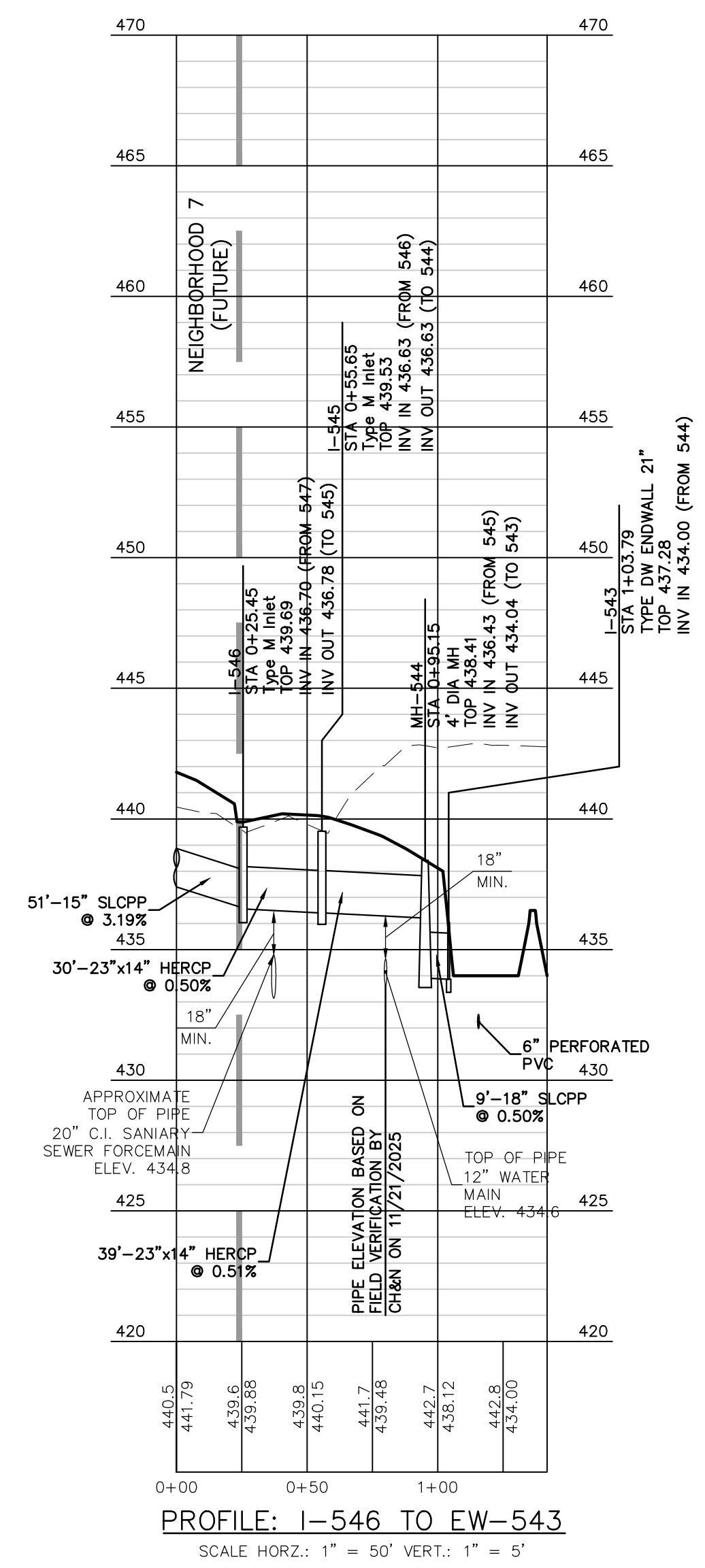
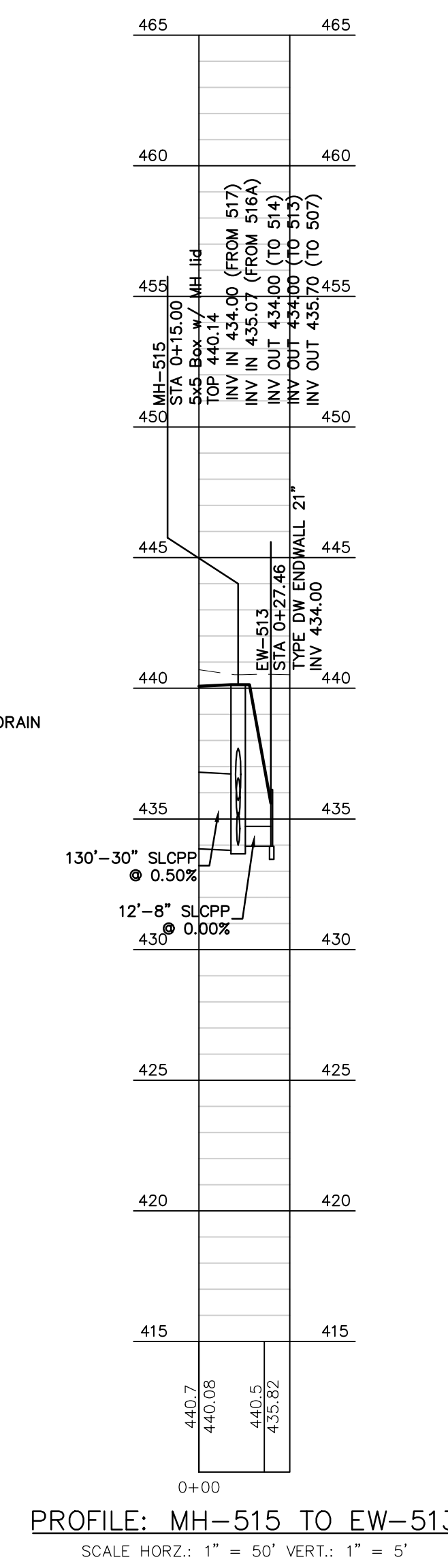
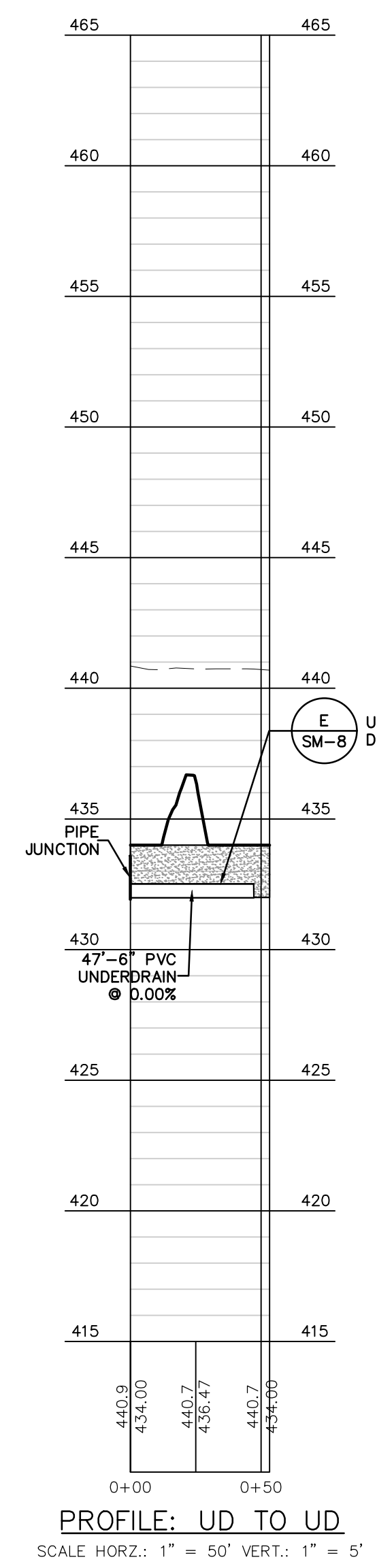
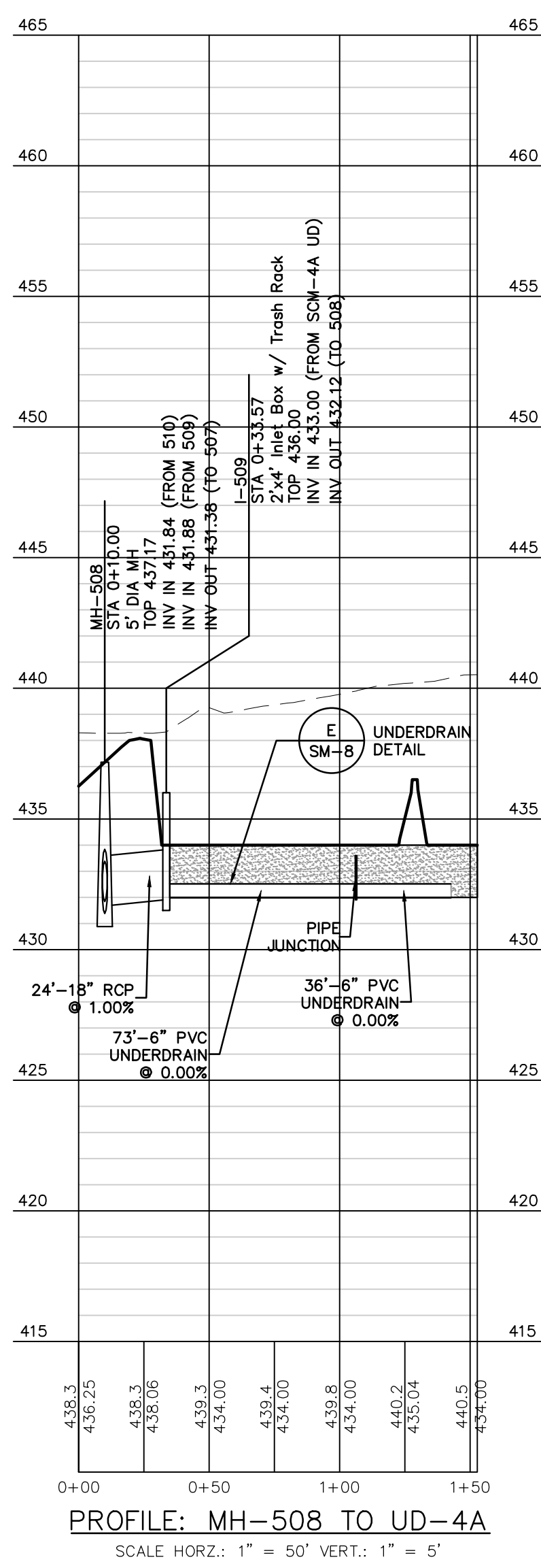
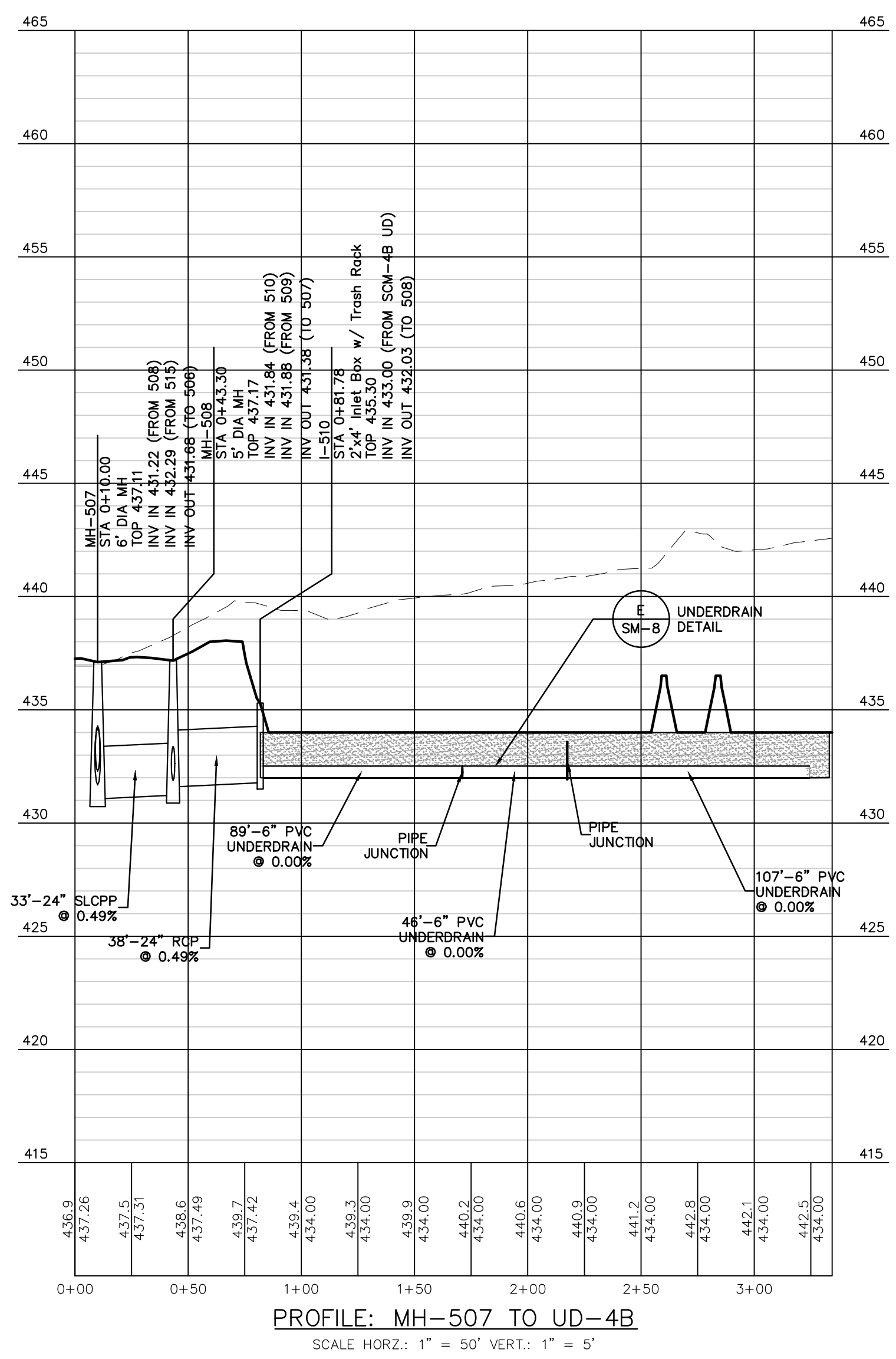
DATE	REVISIONS
3/27/26	ADDRESS TMP. ENG. LTR. DATED 3/19/26
2/24/26	UPDATE PLAN TO REMOVE NEIGHBORHOOD 7
2/10/26	ADDRESS CDDP & TMP. ENG. COMMENTS
1/19/26	REVISED FOR CHN CHANGES



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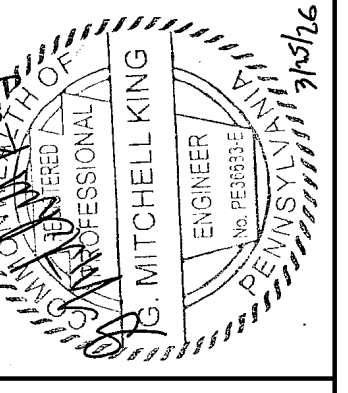


- NOTES:
- INLETS I-547 & I-548 ARE TO BE CONSTRUCTED AS PART OF NEIGHBORHOOD 7 (FUTURE).
  - STORM WATER PIPES FROM I-548 TO I-546 ARE TO BE CONSTRUCTED AS PART OF NEIGHBORHOOD 7 (FUTURE).



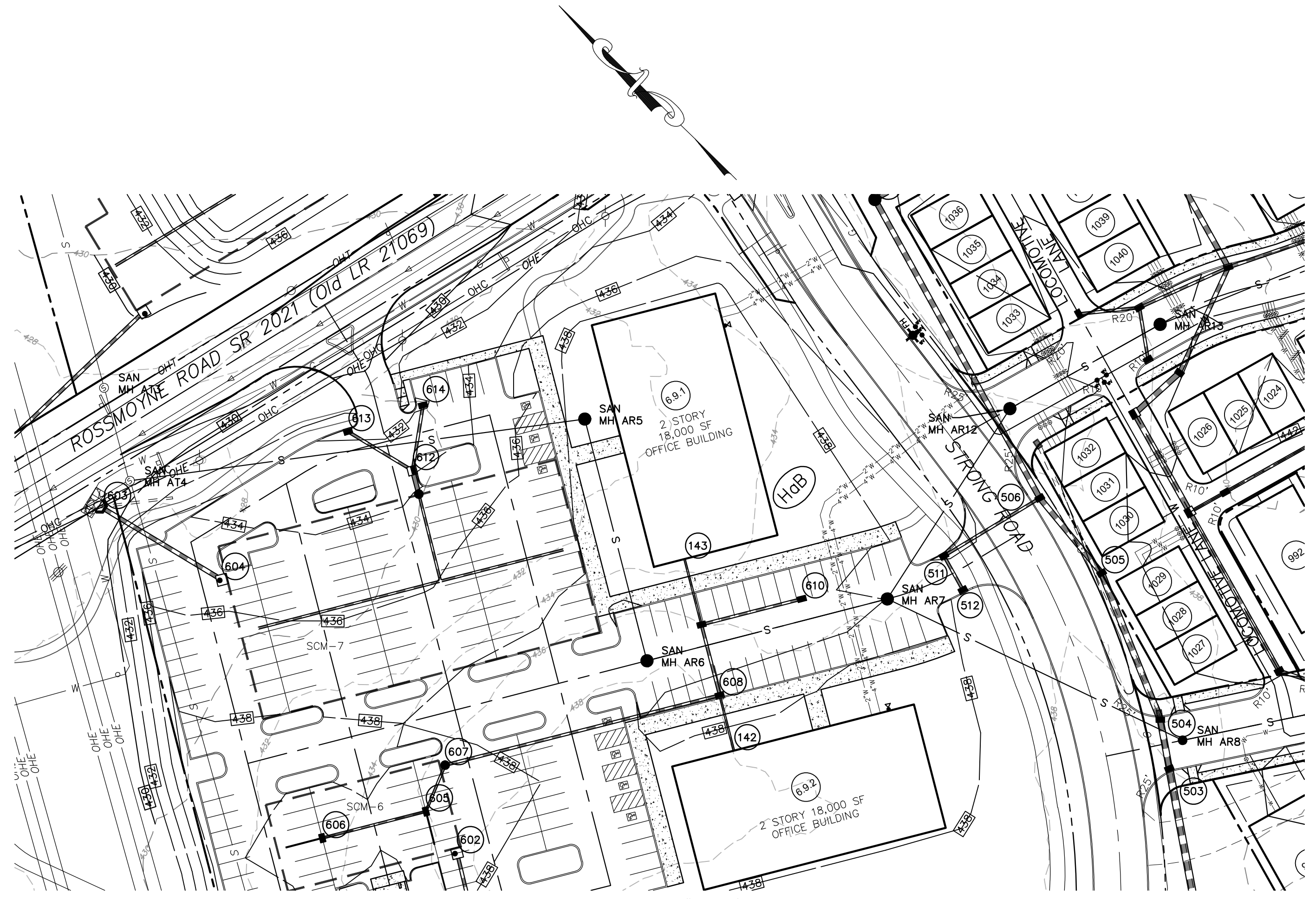
**REMAINING ARCONA NEIGHBORHOODS**  
Lower Allen Township - Cumberland County, PA  
CHARTER Homes & Neighborhoods

Drafting: D TURNER	Check: K POSTLETHWAIT
Project Manager: DAVID B. KEGERIZE PE	Project Engineer: G. MITCHELL KING PE, PLS
Project Surveyor: THOMAS K. PHILLIPS PLS	Scale: 1" = 50'

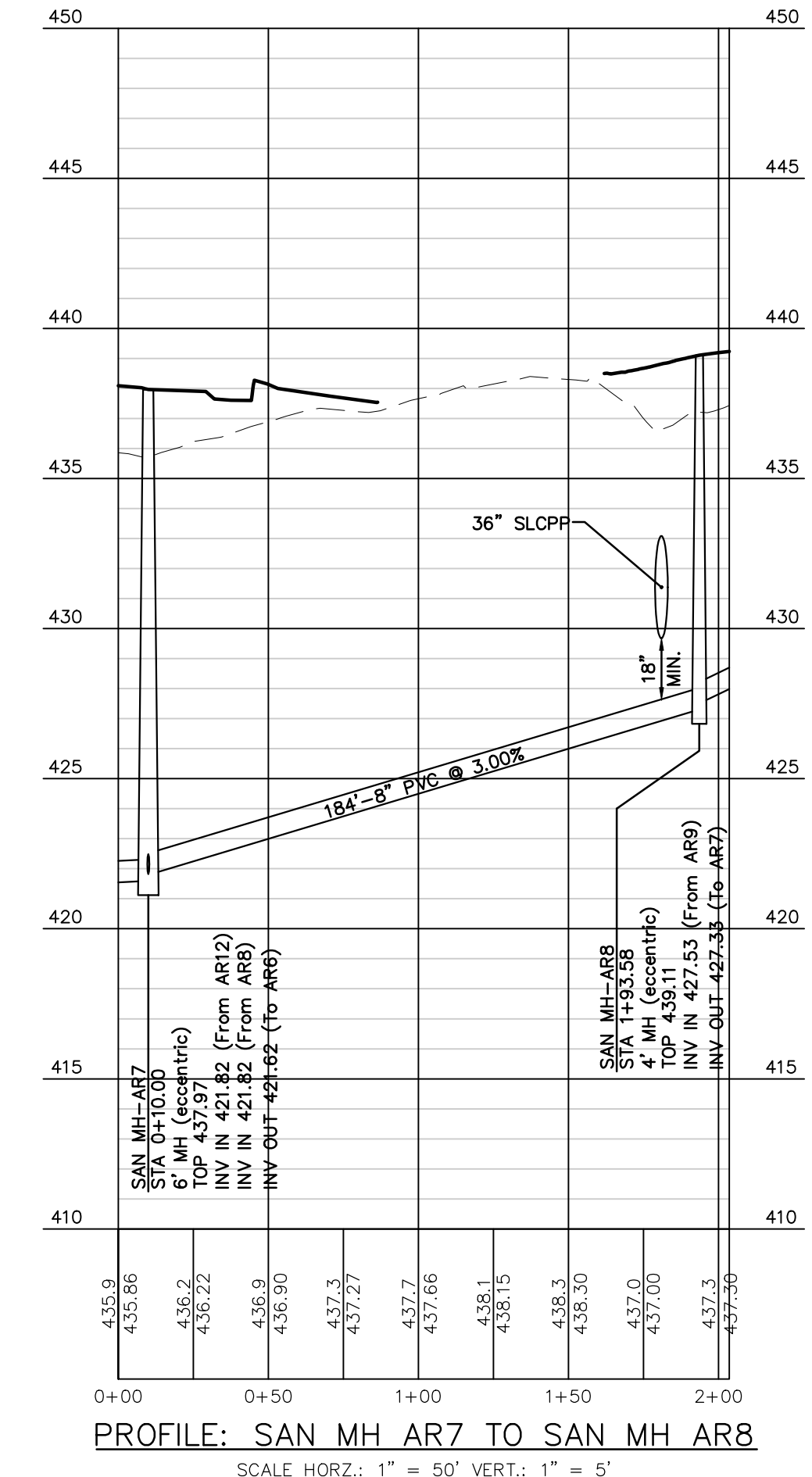
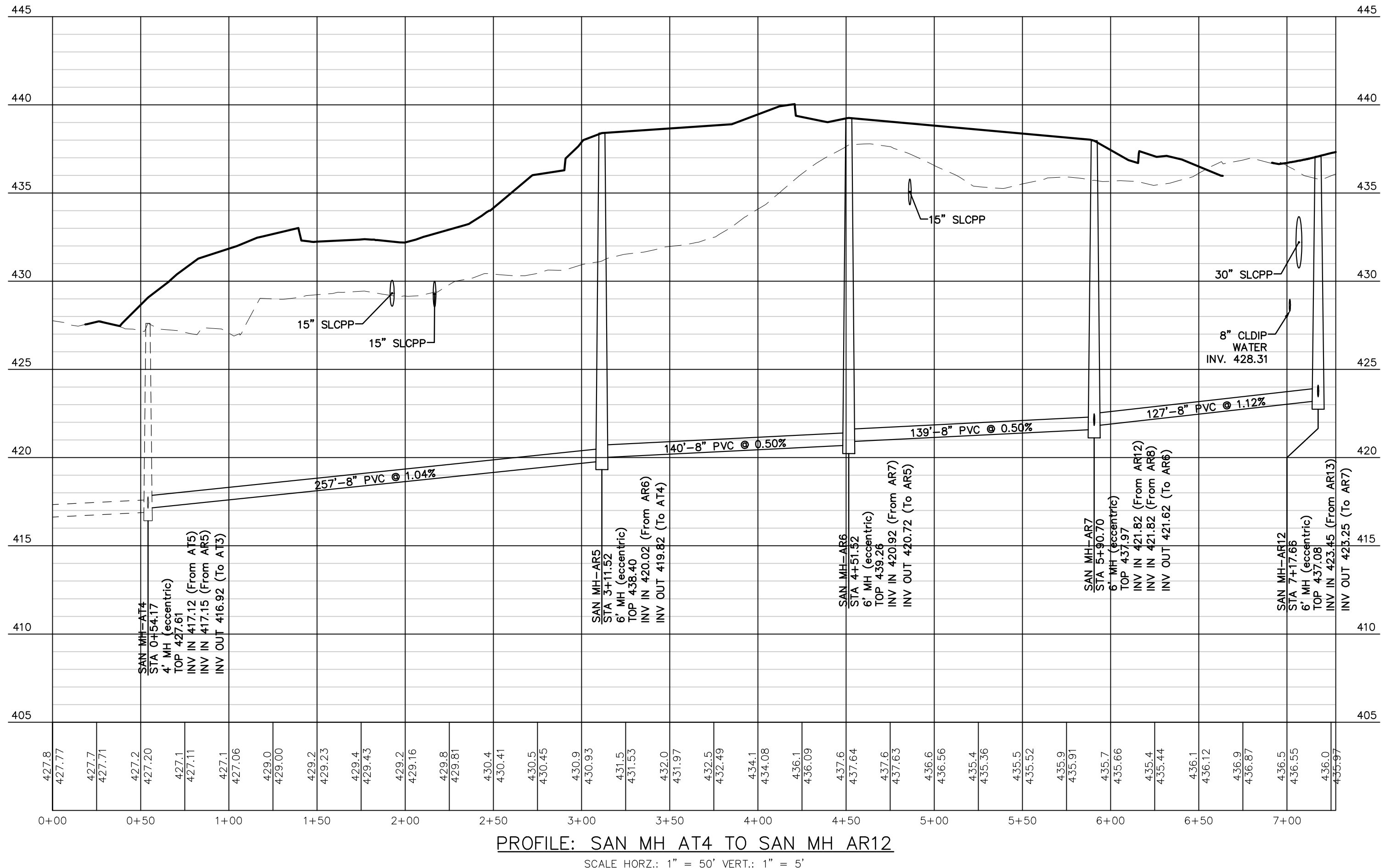


**TOWNE SQUARE ENGINEERING**  
Civil Engineers & Land Planners  
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Lancaster, PA 17603  
Phone: (717) 283-4538  
info@townsquareengineering.com

DATE	REVISIONS
3/27/26	ADDRESS TMP. ENG. LTR. DATED 3/19/26
2/24/26	UPDATE PLAN TO REMOVE NEIGHBORHOOD 7
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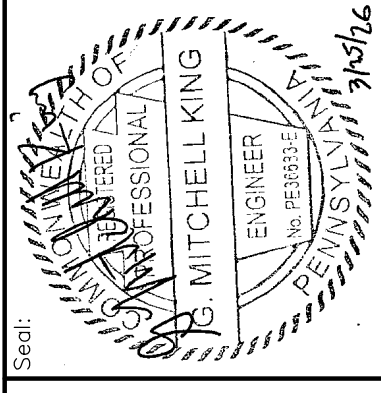


PLAN SCALE: 1" = 50'



**REMAINING ARCONA NEIGHBORHOODS**  
Lower Allen Township - Cumberland County, PA  
CHARTER Homes & Neighborhoods

Project Manager: DAVID B. KEGERIZE PE  
Project Engineer: G. MITCHELL KING PE, PLS  
Project Surveyor: THOMAS K. PHILLIPS PLS  
Drafting: D TURNER  
Checked by: K POSTLETHWAIT  
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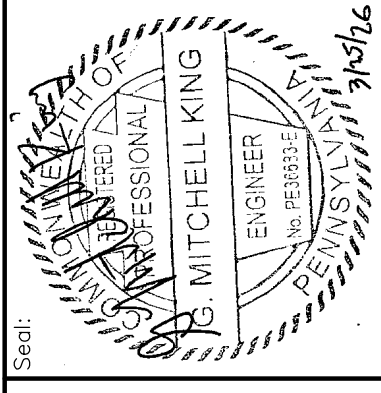


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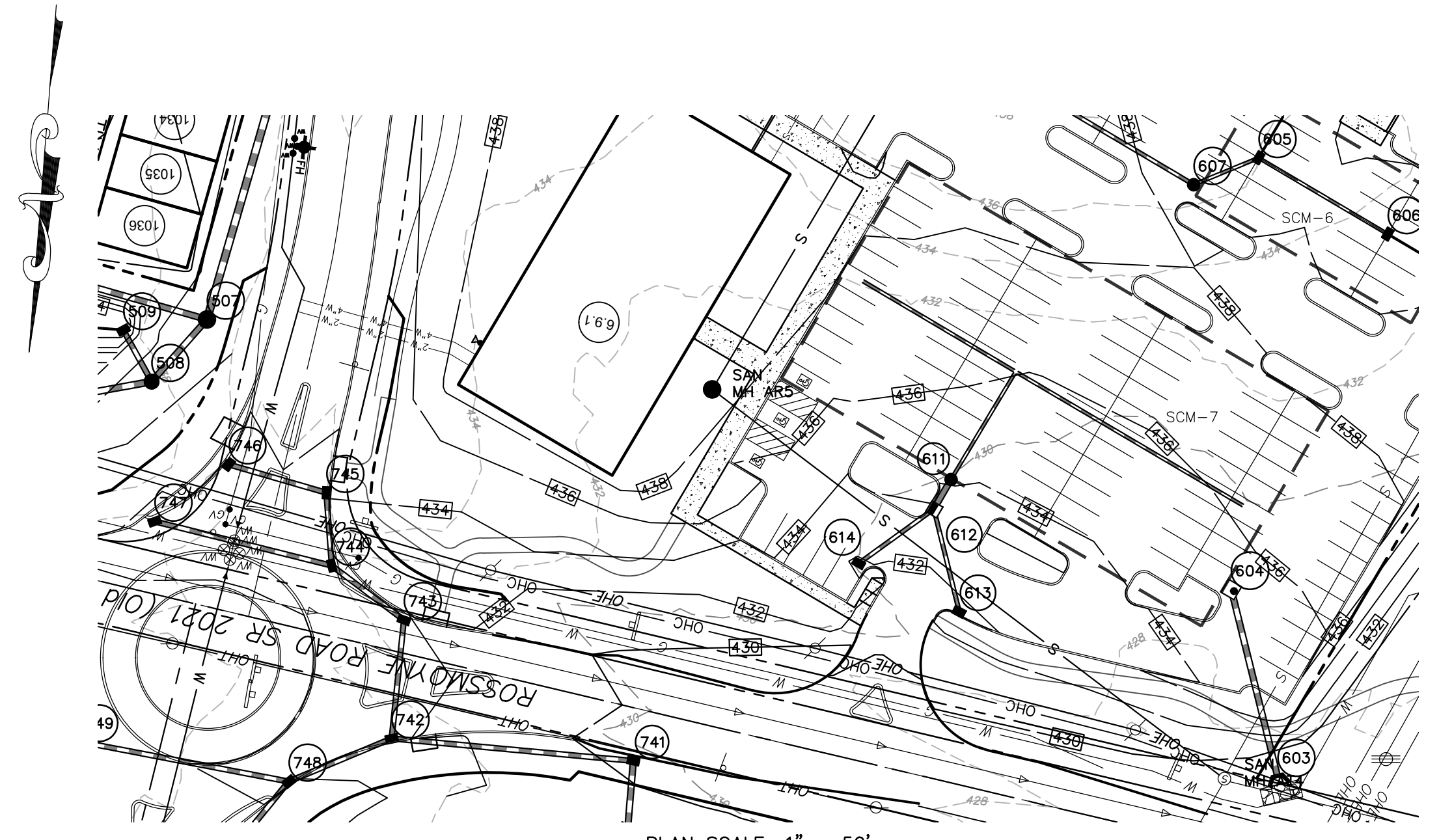
**REMAINING ARCONA NEIGHBORHOODS**  
Lower Allen Township - Cumberland County, PA  
**PLAN & PROFILES - NEIGHBORHOOD 6 OFFSTREET STORM**

Project Manager: DAVID B. KEGERIZE PE  
Project Engineer: G. MITCHELL KING PE, PLS  
Project Surveyor: THOMAS K. PHILLIPS PLS  
Drafting: D TURNER  
Checked by: K POSTLETHWAIT  
Scale: 1"=50'

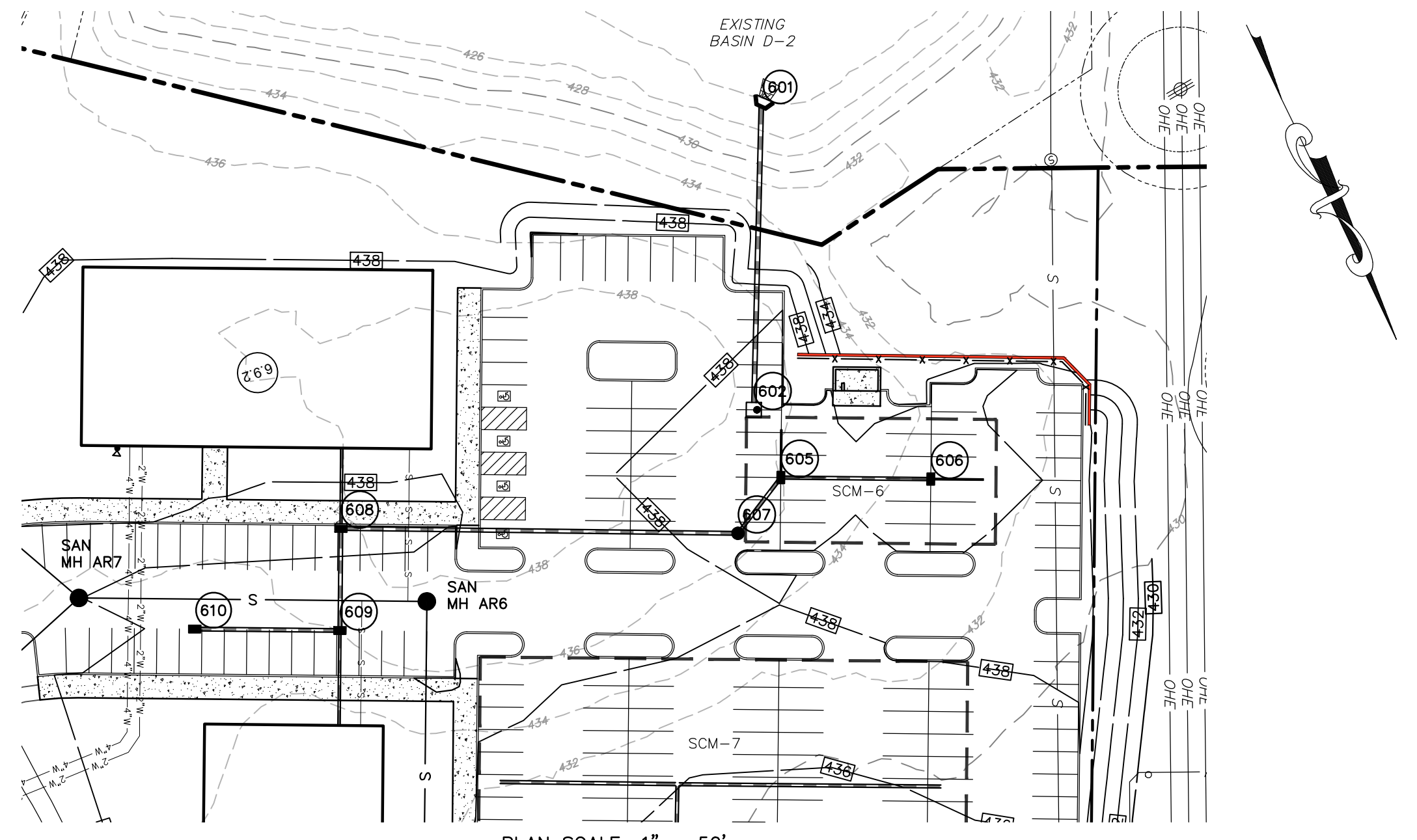


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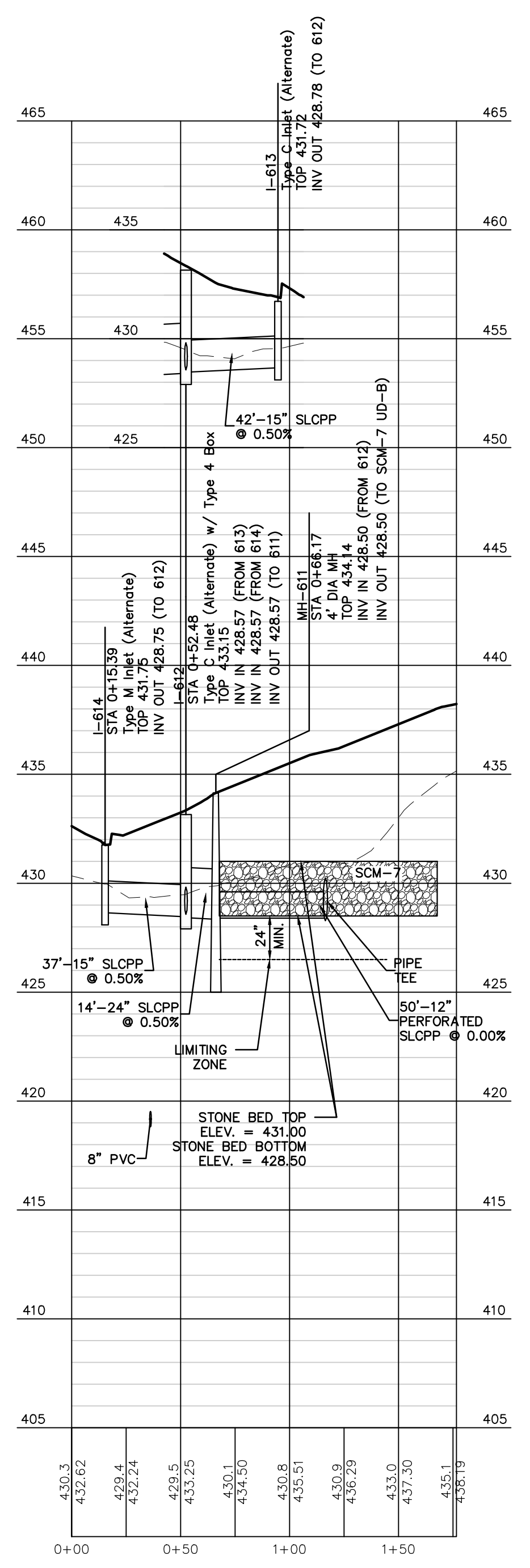
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2/10/26	ADDRESS CDDP & TMP. ENG. COMMENTS
1/19/26	REVISED FOR CH&N CHANGES



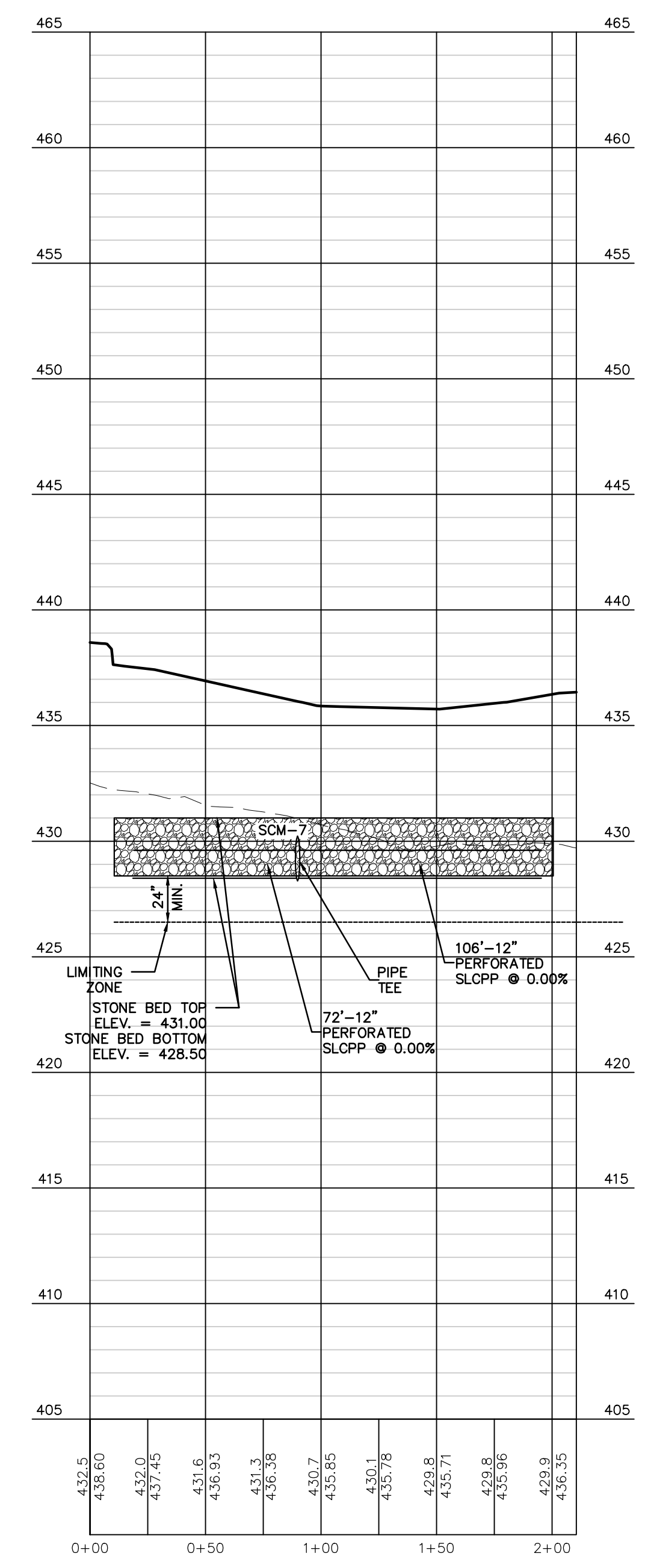
PLAN SCALE: 1" = 50'



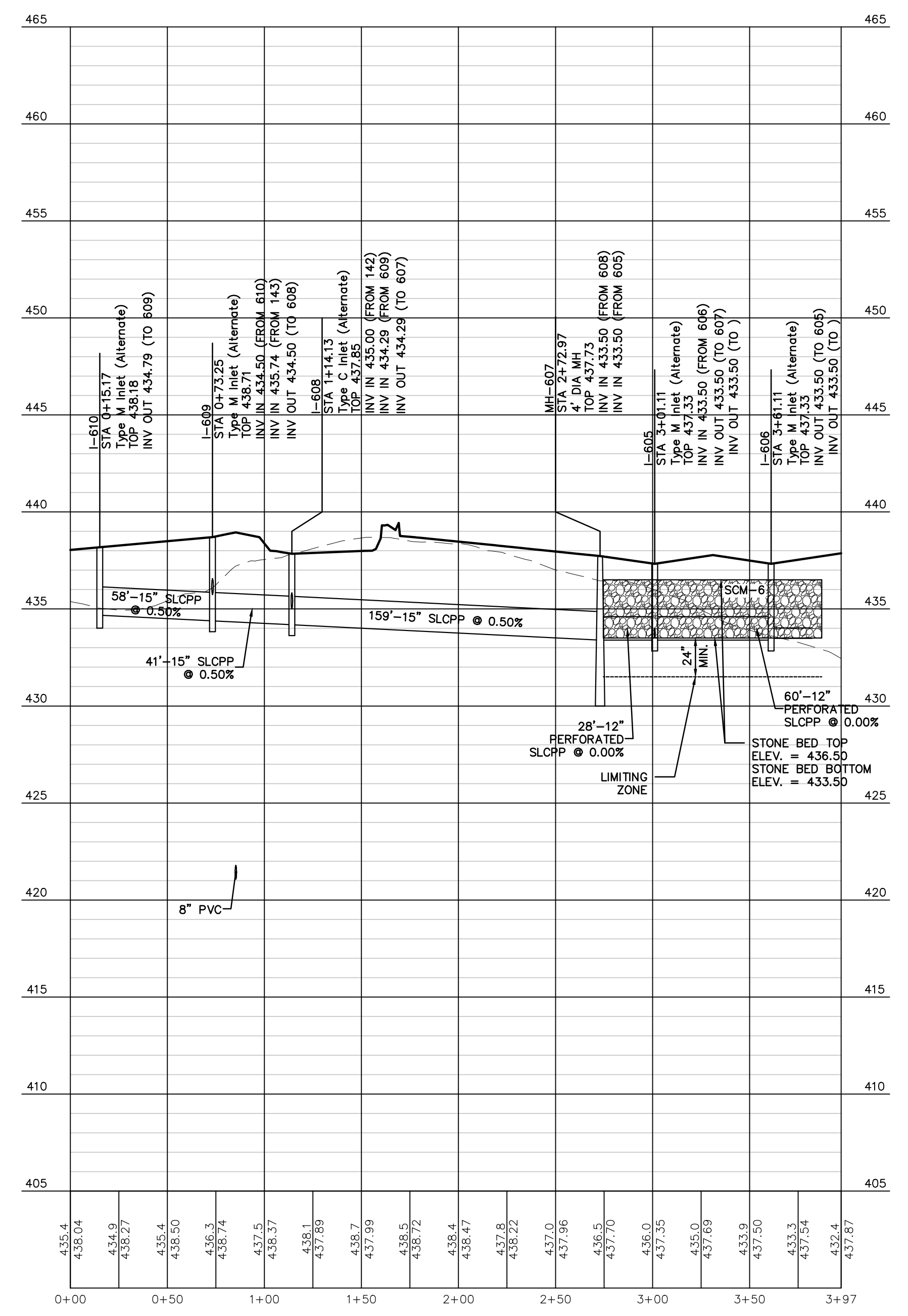
PLAN SCALE: 1" = 50'



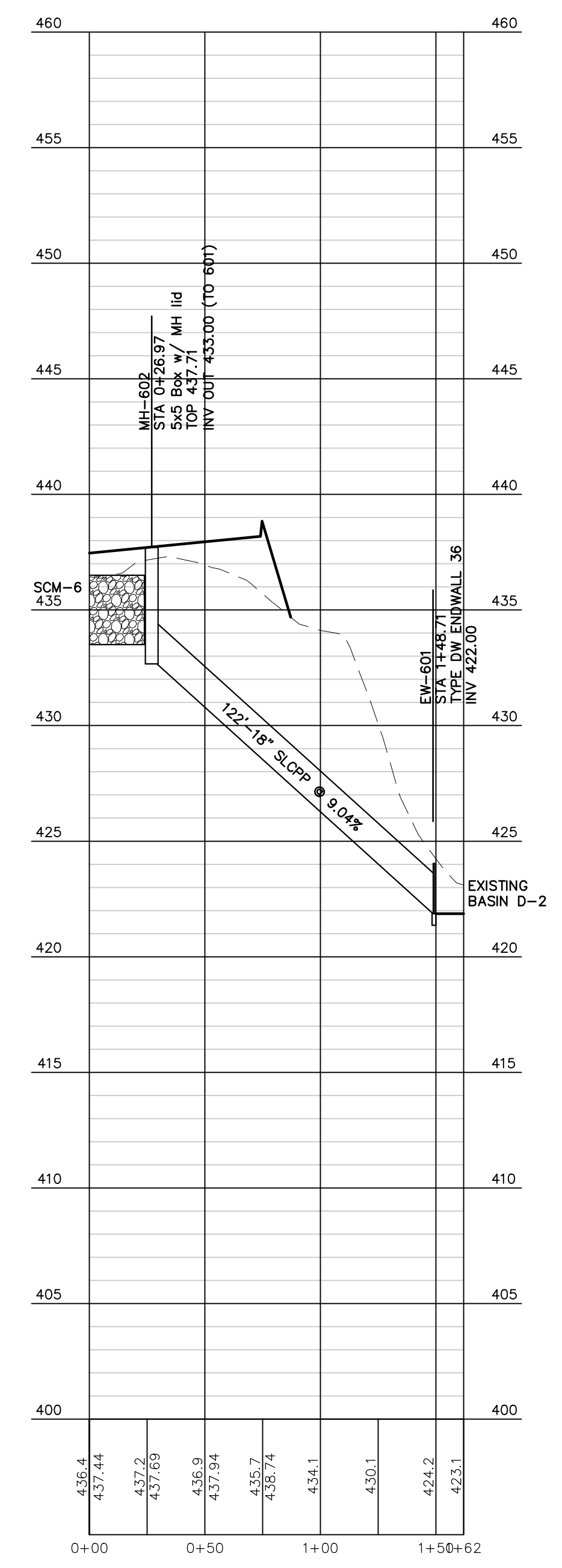
PROFILE: I-614 TO UD-755  
SCALE HORIZ: 1" = 50' VERT: 1" = 5'



PROFILE: UD-758 TO UD-756  
SCALE HORIZ: 1" = 50' VERT: 1" = 5'



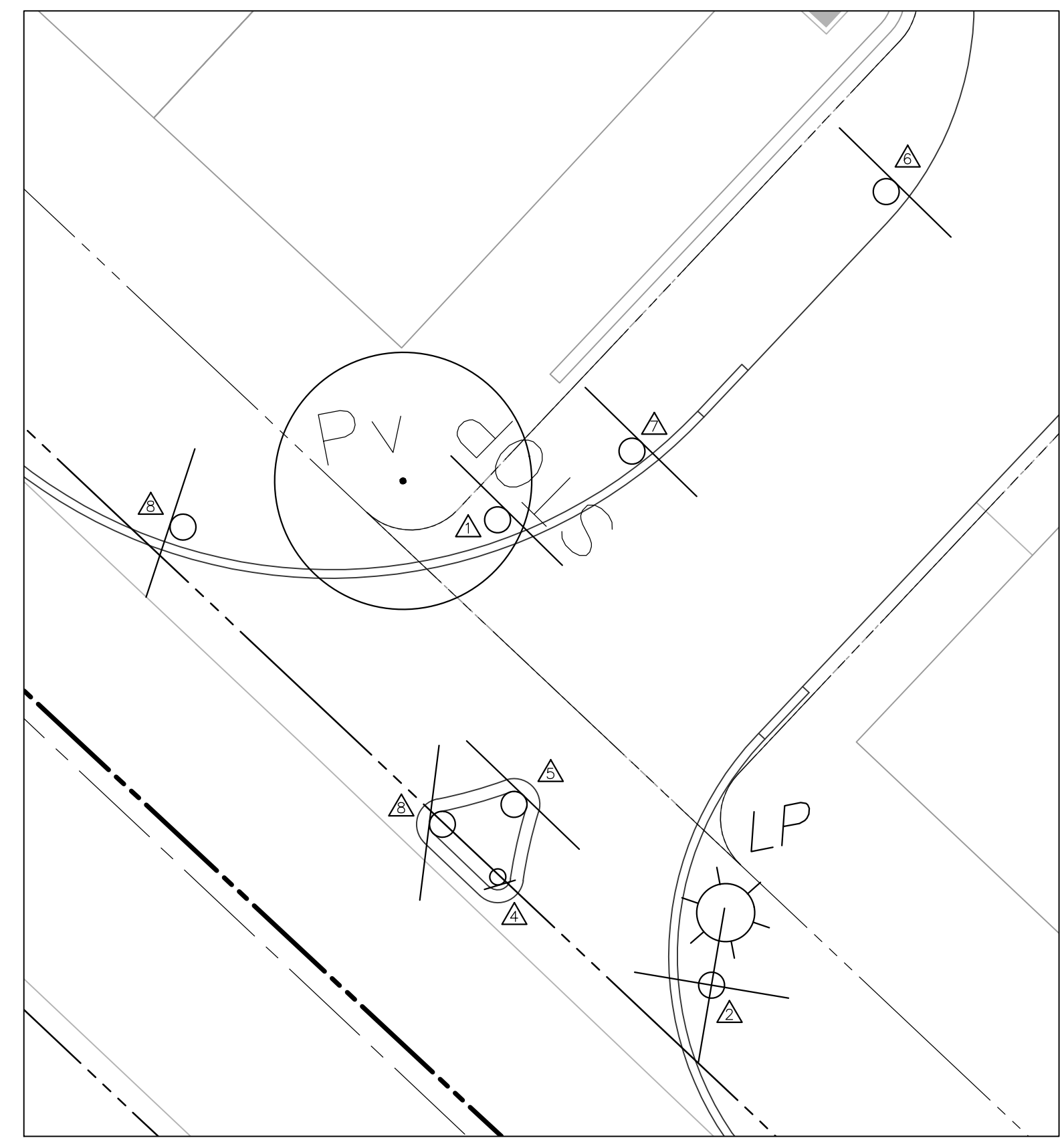
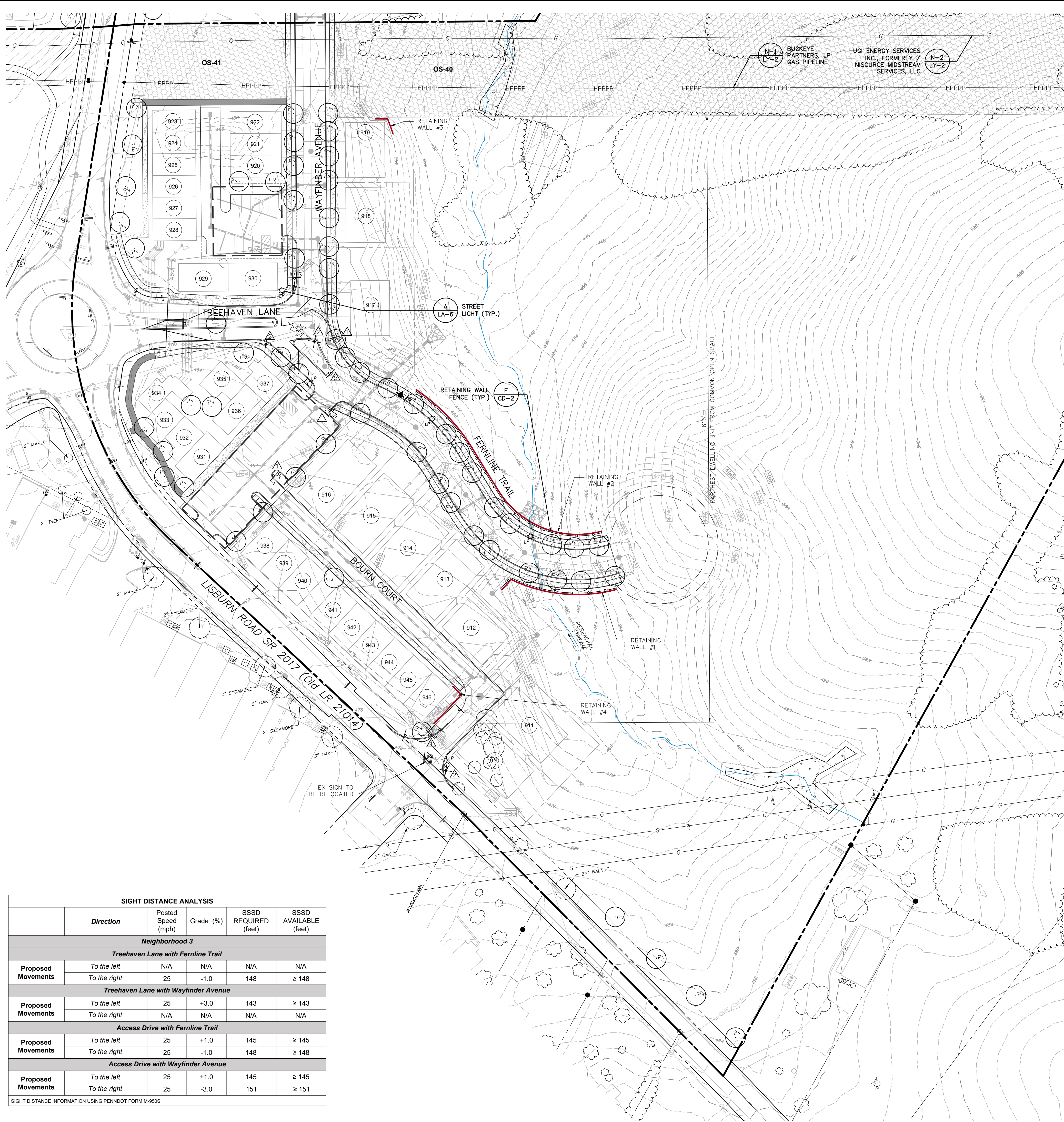
PROFILE: I-610 TO I-606  
SCALE HORIZ: 1" = 50' VERT: 1" = 5'



PROFILE: MH-602 TO EW-601  
SCALE HORIZ: 1" = 50' VERT: 1" = 5'







**Street Length Summary Neighborhood 3.1**

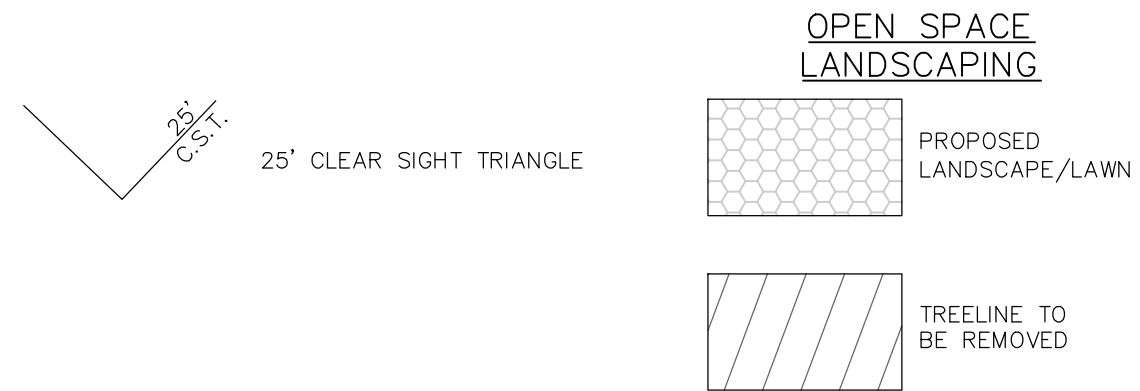
Description	LF	# of Trees Required *
Existing Street **	1,326 L.F.	27
Proposed Street	873 L.F.	36
Proposed Access Drive	0 L.F.	0
<b>Total</b>	<b>2,199 L.F.</b>	<b>63</b>

Number of trees required:  
 \* 1 tree per every 50' both sides on Proposed Length.  
 \*\* 1 tree per every 50' of Existing Length on the side of proposed development.

**STREET TREES ARCONA PHASE 3.1**

QUANTITY	ABBREV.	BOTANICAL NAME	COMMON NAME	MATURE SIZE	SIZE-COMMENTS
63	Pv	Prunus virginiana 'Schubert'	Common Choke Cherry	25' ht 20' w	2.5" cal. B&B
<b>63</b>	<b>Total</b>				

NOTE:  
 PER ZONING SECTION 220-119.E.(5), SECTION 220-200 IS EXCLUDED.



**SIGN LEGEND (Subject to PennDOT Approval)**

#	SYMBOL	DESCRIPTION	MUTCD #	DETAIL SHEET
1	STOP	STOP SIGN	R1-1	CD-1
2	STREET NAME	STREET NAME	-	CD-1
3	NO PARKING	NO PARKING	R8-3 & M6-4	LA-5
4	OBJECT MARKER	OBJECT MARKER	-	-
5	MEDIAN	MEDIAN	R4-7	LA-5
6	ALL TRAFFIC MUST TURN RIGHT	ALL TRAFFIC MUST TURN RIGHT	R3-7-14	LA-5
7	NO LEFT TURN	NO LEFT TURN	R3-2	LA-5
8	DO NOT ENTER	DO NOT ENTER	R5-1	LA-5

**SIGHT DISTANCE ANALYSIS**

Direction	Posted Speed (mph)	Grade (%)	SSSD REQUIRED (feet)	SSSD AVAILABLE (feet)
<b>Neighborhood 3</b>				
<b>Treehaven Lane with Fernline Trail</b>				
Proposed Movements	To the left	N/A	N/A	N/A
	To the right	25	-1.0	148 ≥ 148
<b>Treehaven Lane with Wayfinder Avenue</b>				
Proposed Movements	To the left	25	+3.0	143 ≥ 143
	To the right	N/A	N/A	N/A
<b>Access Drive with Fernline Trail</b>				
Proposed Movements	To the left	25	+1.0	145 ≥ 145
	To the right	25	-1.0	148 ≥ 148
<b>Access Drive with Wayfinder Avenue</b>				
Proposed Movements	To the left	25	+1.0	145 ≥ 145
	To the right	25	-3.0	151 ≥ 151

SIGHT DISTANCE INFORMATION USING PENNDOT FORM M-550S

Sheet Number: 76 of 81  
 Project Number: 15-100-35  
 Date: DECEMBER 17, 2025

**REMAINING ARCONA NEIGHBORHOODS**  
 Lower Allen Township - Cumberland County, PA  
 CHARTER Homes & Neighborhoods

**LANDSCAPING PLAN - NEIGHBORHOOD 3.1**

Drafting: D TURNER  
 Checked by: D TURNER  
 Project Engineer: G. MITCHELL KING PE, PLS  
 Project Surveyor: THOMAS K. PHILLIPS PLS  
 Scale: 1" = 50'

Project Manager: DAVID B. KEGERIZE PE  
 Project Engineer: G. MITCHELL KING PE, PLS  
 Project Surveyor: THOMAS K. PHILLIPS PLS  
 Scale: 1" = 50'

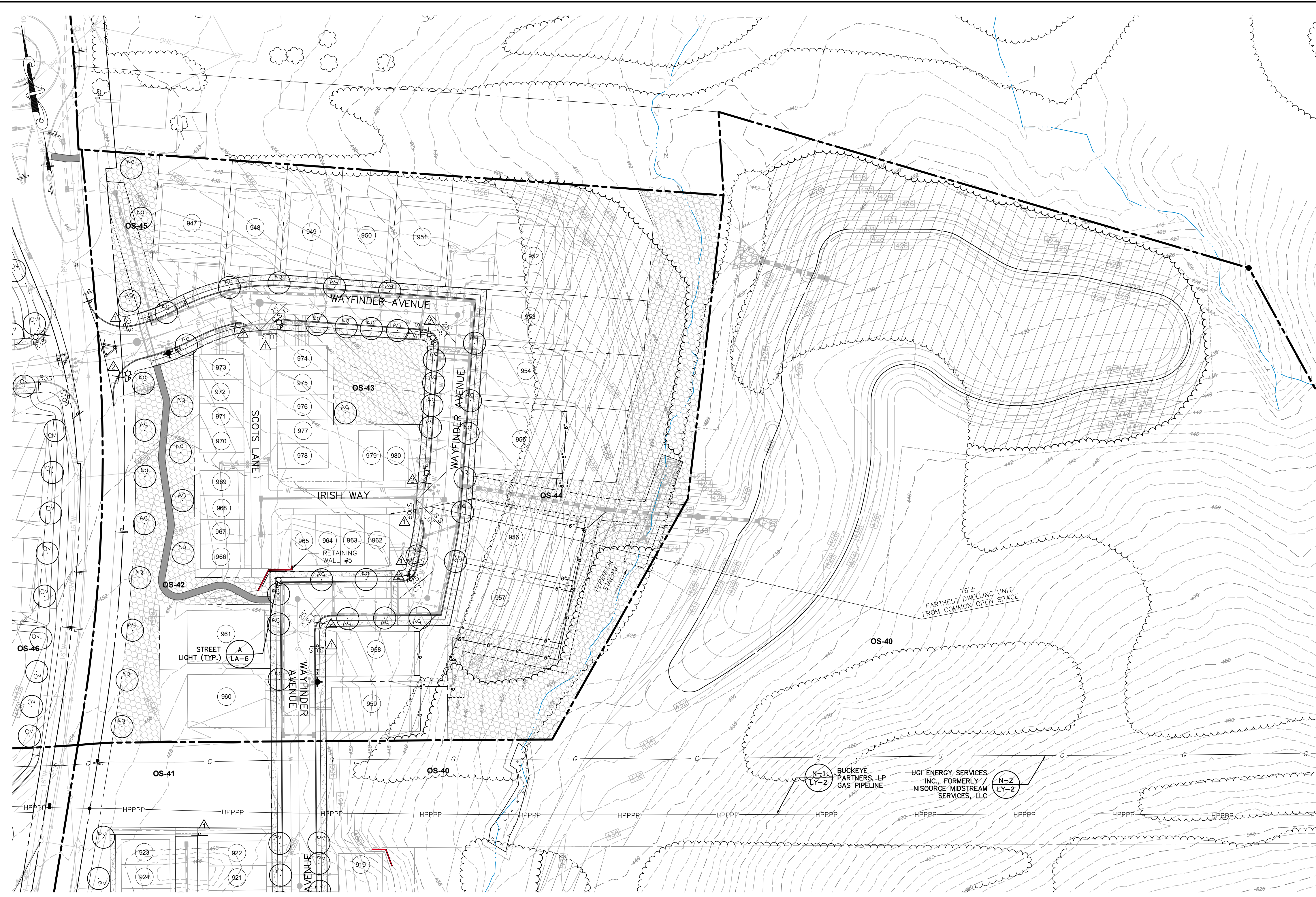
313 W. Liberty St., Suite 241 Lancaster, PA 17603 Phone: (717) 283-4538 info@townsquareengineering.com

**TOWNE SQUARE ENGINEERING**  
**Civil Engineers & Land Planners**

3/27/26 ADDRESS TMP. ENG. LTR. DATED 3/19/26  
 2/24/26 UPDATE PLAN TO REMOVE NEIGHBORHOOD 7  
 2/10/26 ADDRESS CDDP & TMP. ENG. COMMENTS  
 1/19/26 REVISED FOR CHN CHANGES

Section Number: LA-1

3/26/2026 3:26 PM



**Street Length Summary Neighborhood 4**

Description	LF	# of Trees Required *
Existing Street **	540 L.F.	11
Proposed Street	832 L.F.	34
Proposed Access Drive	0 L.F.	0
<b>Total</b>	<b>1,372 L.F.</b>	<b>45</b>

Number of trees required:  
\* 1 tree per every 50' both sides on Proposed Length.  
\*\* 1 tree per every 50' of Existing Length on the side of proposed development.

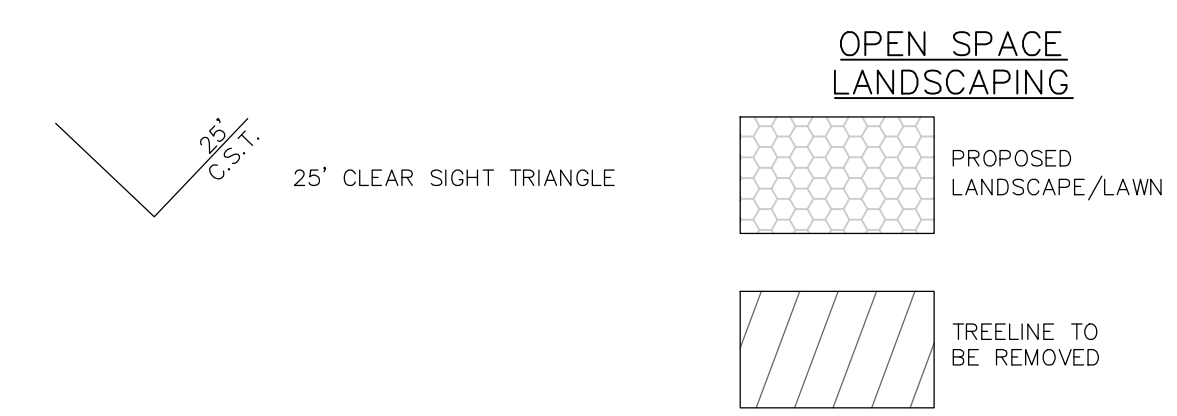
**STREET TREES ARCONA PHASE 4**

QUANTITY	ABBREV.	BOTANICAL NAME	COMMON NAME	MATURE SIZE	SIZE-COMMENTS
45	Ag	Amelanchier x grandiflora	Autumn Brilliance Serviceberry	20' ht 15' w	2.5" cal. B&B (S.S.)*
<b>45</b>	<b>Total</b>				

**SIGHT DISTANCE ANALYSIS**

Direction	Posted Speed (mph)	Grade (%)	SSSD		
			REQUIRED (feet)	AVAILABLE (feet)	
<b>Neighborhood 4</b>					
<b>Irish Way with Wayfinder Avenue</b>					
Proposed Movements	To the left	25	+4.0	142	≥ 142
	To the right	25	-4.0	153	≥ 153
<b>Scots Lane with Wayfinder Avenue</b>					
Proposed Movements	To the left	25	-2.0	150	≥ 150
	To the right	25	+2.0	144	≥ 144

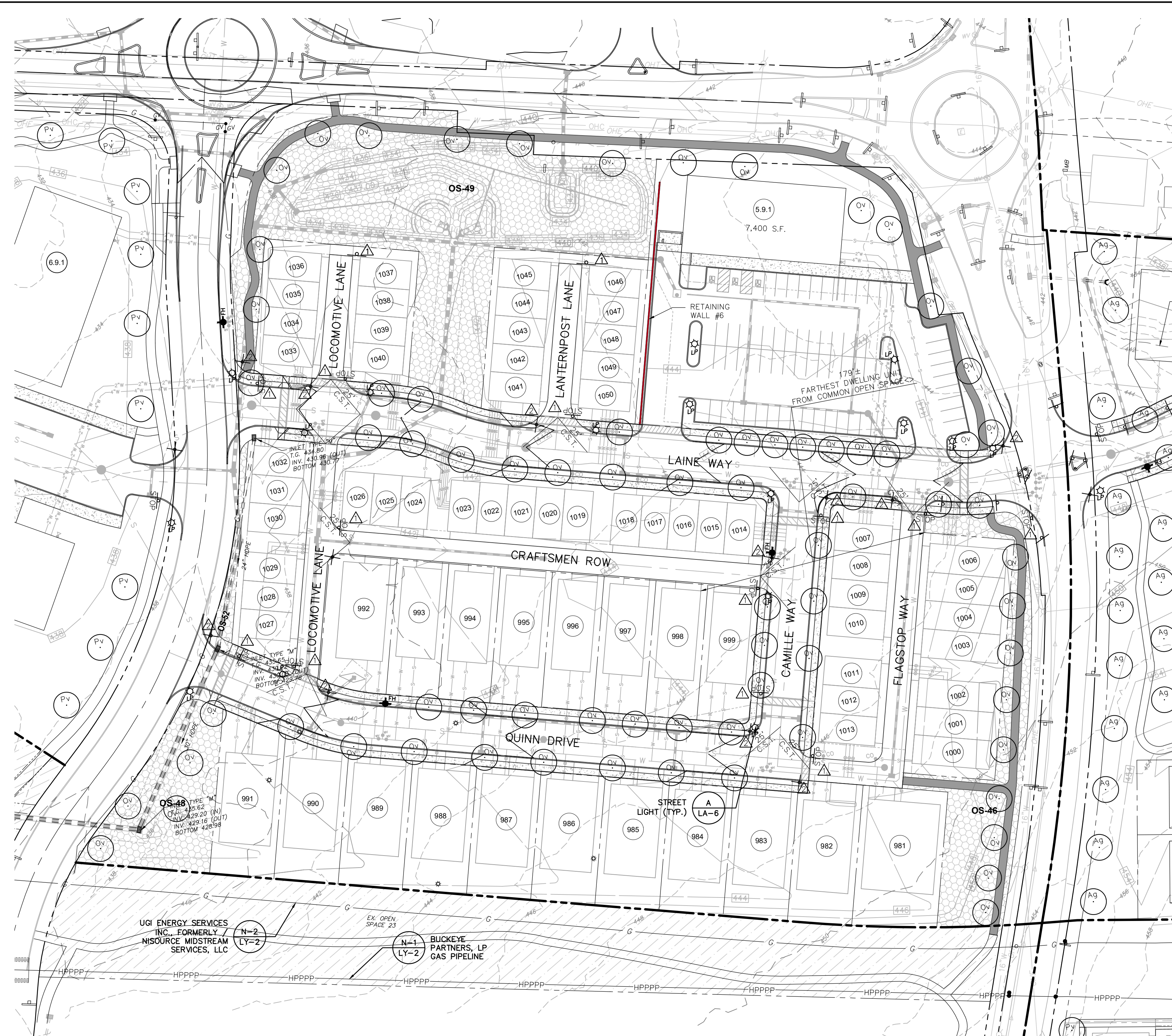
SIGHT DISTANCE INFORMATION USING PENNDOT FORM M-9505



**SIGN LEGEND (Subject to PennDOT Approval)**

#	SYMBOL	DESCRIPTION	MUTCD #	DETAIL SHEET
1	STOP SIGN	STOP SIGN	R1-1	CD-1
2	STREET NAME	STREET NAME	-	CD-1
3	NO PARKING	NO PARKING	R8-3 & M6-4	LA-5
4	OBJECT MARKER	OBJECT MARKER	-	-
5	MEDIAN	MEDIAN	R4-7	LA-5
6	ALL TRAFFIC MUST TURN RIGHT	ALL TRAFFIC MUST TURN RIGHT	R3-7-14	LA-5
7	NO LEFT TURN	NO LEFT TURN	R3-2	LA-5
8	DO NOT ENTER	DO NOT ENTER	R5-1	LA-5

NOTE:  
SEE SHEET LA-1 FOR RIGHT-IN / RIGHT-OUT SIGN LOCATION DETAIL.



SIGHT DISTANCE ANALYSIS					
	Direction	Posted Speed (mph)	Grade (%)	SSSD REQUIRED (feet)	SSSD AVAILABLE (feet)
<b>Neighborhood 5</b>					
<b>Camille Way with Laine Way</b>					
Proposed Movements	To the left	25	-1.0	148	≥ 148
	To the right	25	+1.0	145	≥ 145
<b>Flagstop Way with Laine Way</b>					
Proposed Movements	To the left	25	-1.0	148	≥ 148
	To the right	25	-1.0	148	≥ 148
<b>Flagstop Way with Camille Way</b>					
Proposed Movements	To the left	N/A	N/A	N/A	N/A
	To the right	25	-1.0	148	≥ 148
<b>Craftsmen Row with Camille Way</b>					
Proposed Movements	To the left	25	+1.0	148	≥ 148
	To the right	25	+1.0	145	≥ 145
<b>Locomotive Lane with Quinn Drive</b>					
Proposed Movements	To the left	25	+1.0	145	≥ 145
	To the right	25	-1.0	148	≥ 148
<b>Locomotive Lane (South) with Laine Way</b>					
Proposed Movements	To the left	25	+3.0	143	≥ 143
	To the right	25	-3.0	151	≥ 151
<b>Locomotive Lane (North) with Laine Way</b>					
Proposed Movements	To the left	25	-3.0	151	≥ 151
	To the right	25	+3.0	143	≥ 143
<b>Lanterpost Lane with Laine Way</b>					
Proposed Movements	To the left	25	-2.0	150	≥ 150
	To the right	25	+2.0	144	≥ 144
<b>Camille Way with Quinn Drive</b>					
Proposed Movements	To the left	25	+1.0	145	≥ 145
	To the right	25	-1.0	148	≥ 148
<b>Quinn Drive with Strong Road</b>					
Proposed Movements	To the left	25	-1.0	148	≥ 148
	To the right	25	+1.0	145	≥ 145
<b>Laine Way with Strong Road</b>					
Proposed Movements	To the left	25	-1.0	148	≥ 148
	To the right	25	+1.0	145	≥ 145

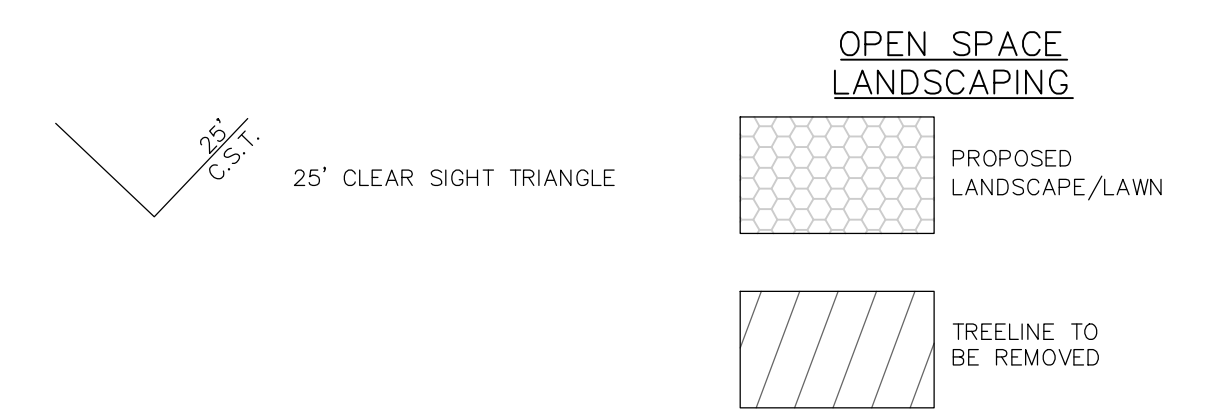
SIGHT DISTANCE INFORMATION USING PENNDOT FORM M-8505

Description	LF	# of Trees Required *
Existing Street **	1,079 L.F.	22
Proposed Street	1,300 L.F.	52
Proposed Access Drive	0 L.F.	0
<b>Total</b>	<b>2,379 L.F.</b>	<b>74</b>

Number of trees required:  
 \* 1 tree per every 50' both sides on Proposed Length.  
 \*\* 1 tree per every 50' of Existing Length on the side of proposed development. Strong Road is an already approved street in the Arcona TND.

QUANTITY	ABBREV.	BOTANICAL NAME	COMMON NAME	MATURE SIZE	SIZE-COMMENTS
74	Ov	Ostrya virginiana	American Hop-hornbeam	20' ht 20' w	5-6' B&B
<b>74</b>	<b>Total</b>				

NOTE:  
 PER ZONING SECTION 220-119.E.(5), SECTION 220-200 IS EXCLUDED.



#	SYMBOL	DESCRIPTION	MUTCD #	DETAIL SHEET
1	STOP SIGN	STOP SIGN	R1-1	CD-1
2	STREET NAME	STREET NAME	-	CD-1
3	NO PARKING	NO PARKING	R8-3 & M6-4	LA-5
4	OBJECT MARKER	OBJECT MARKER	-	-
5	MEDIAN	MEDIAN	R4-7	LA-5
6	ALL TRAFFIC MUST TURN RIGHT	ALL TRAFFIC MUST TURN RIGHT	R3-7-14	LA-5
7	NO LEFT TURN	NO LEFT TURN	R3-2	LA-5
8	DO NOT ENTER	DO NOT ENTER	R5-1	LA-5

NOTE:  
 SEE SHEET LA-1 FOR RIGHT-IN / RIGHT-OUT SIGN LOCATION DETAIL.

Sheet Number: 78 of 81  
 Project Number: 15-100-35  
 Date: DECEMBER 17, 2025

**REMAINING ARCONA NEIGHBORHOODS**  
 Lower Allen Township - Cumberland County, PA  
 CHARTER Homes & Neighborhoods

**LANDSCAPING PLAN - NEIGHBORHOOD 5**

Project Manager: DAVID B. KEGERIZE PE  
 Project Engineer: G. MITCHELL KING PE, PLS  
 Project Surveyor: THOMAS K. PHILLIPS PLS

Drafting: D TURNER  
 Checked by: K POSTLETHWAIT

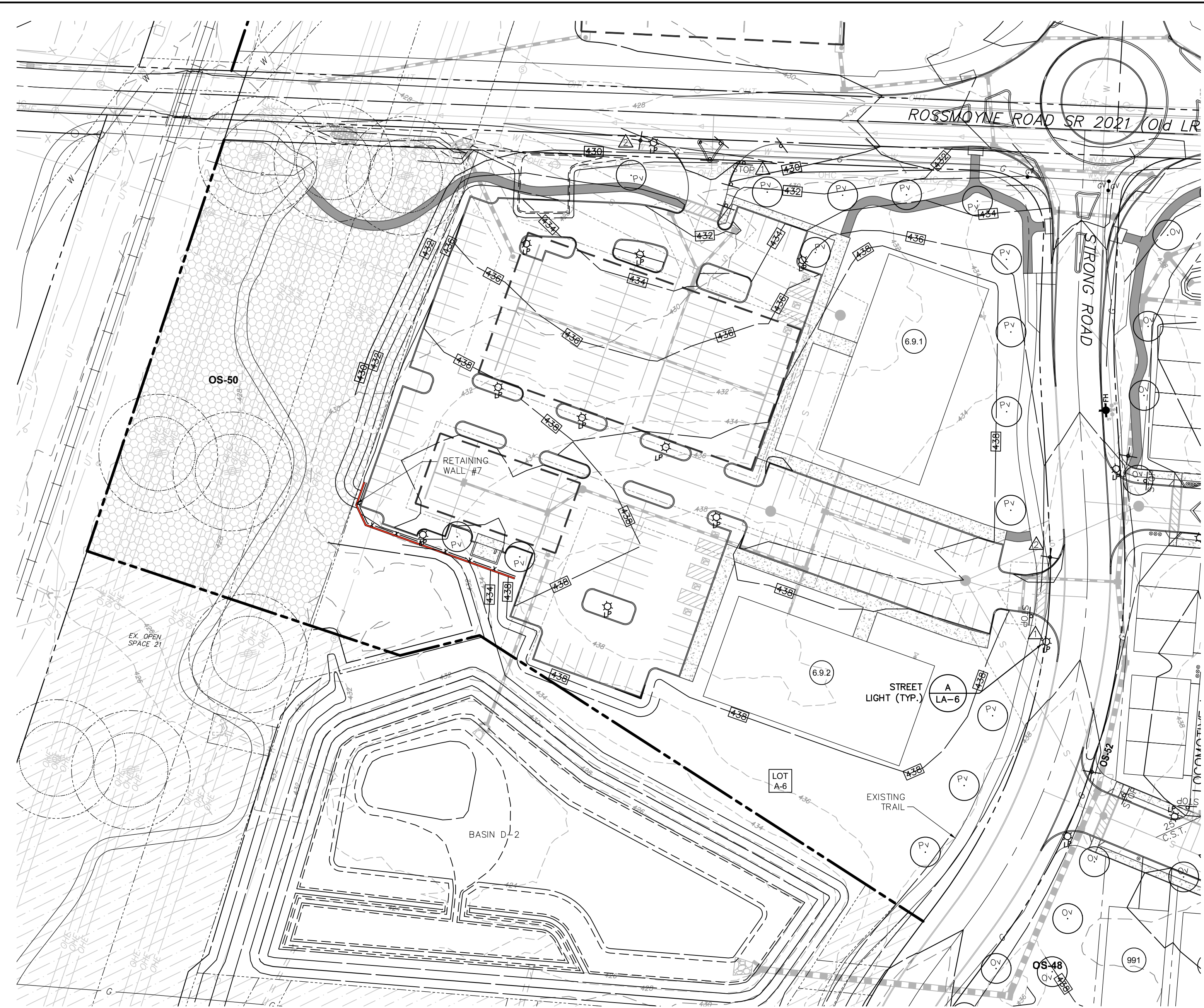
Scale: 1" = 50'

313 W. Liberty St., Suite 241, Lancaster, PA 17603  
 Phone: (717) 283-4538  
 info@townsquareengineering.com

**TOWNE SQUARE ENGINEERING**  
**Civil Engineers & Land Planners**

3/27/26 ADDRESS TMP. ENG. LTR. DATED 3/19/26  
 2/24/26 UPDATE PLAN TO REMOVE NEIGHBORHOOD 7  
 2/10/26 ADDRESS CDD & TMP. ENG. COMMENTS  
 1/19/26 REVISED FOR CHN CHANGES

Section Number: LA-3  
 3/26/2026 3:48 PM



Description	LF	# of Trees Required *
Existing Street **	546 L.F.	11
Proposed Street	0 L.F.	0
Proposed Access Drive	92 L.F.	4
<b>Total</b>	<b>638 L.F.</b>	<b>15</b>

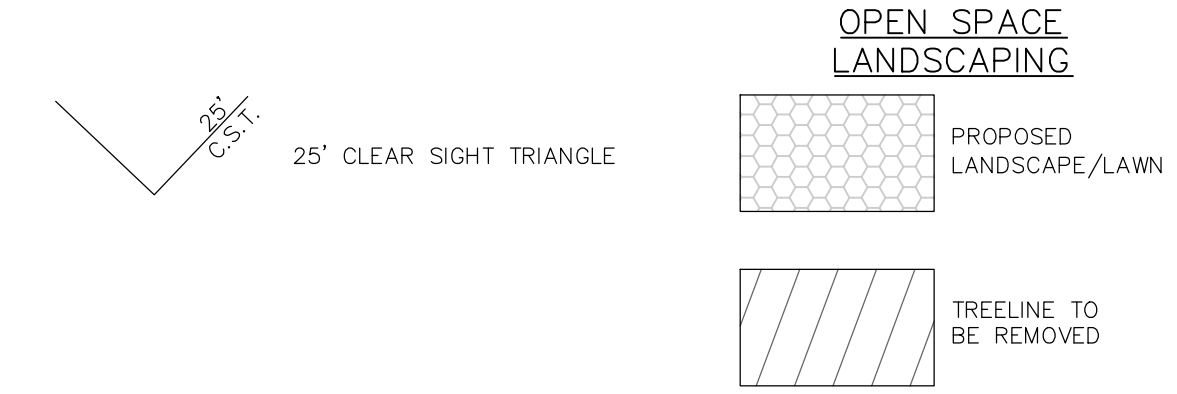
Number of trees required:  
 \* 1 tree per every 50' both sides on Proposed Length.  
 \*\* 1 tree per every 50' of Existing Length on the side of proposed development. Strong Road is an already approved street in the Arcona TND.

QUANTITY	ABBREV.	BOTANICAL NAME	COMMON NAME	MATURE SIZE	SIZE-COMMENTS
15	Pv	Prunus virginiana 'Schubert'	Common Choke Cherry	25' ht 20' w	2.5' cal. B&B
<b>15</b>	<b>Total</b>				

NOTE:  
 PER ZONING SECTION 220-119.E.(5), SECTION 220-200 IS EXCLUDED.

Direction	Posted Speed (mph)	Grade (%)	SSSD REQUIRED (feet)	SSSD AVAILABLE (feet)	
<b>Neighborhood 6</b>					
<b>Access Drive with Strong Road</b>					
Proposed Movements	To the left	25	+1.0	145	≥ 145
	To the right	25	-1.0	148	≥ 148

SIGHT DISTANCE INFORMATION USING PENNDOT FORM M-8505



#	SYMBOL	DESCRIPTION	MUTCD #	DETAIL SHEET
1	STOP SIGN	STOP SIGN	R1-1	CD-1
2	STREET NAME	STREET NAME	-	CD-1
3	NO PARKING	NO PARKING	R8-3 & M6-4	LA-5
4	OBJECT MARKER	OBJECT MARKER	-	-
5	MEDIAN	MEDIAN	R4-7	LA-5
6	ALL TRAFFIC MUST TURN RIGHT	ALL TRAFFIC MUST TURN RIGHT	R3-7-14	LA-5
7	NO LEFT TURN	NO LEFT TURN	R3-2	LA-5
8	DO NOT ENTER	DO NOT ENTER	R5-1	LA-5

NOTE:  
 SEE SHEET LA-1 FOR RIGHT-IN / RIGHT-OUT SIGN LOCATION DETAIL.

**REMAINING ARCONA NEIGHBORHOODS**  
 Lower Allen Township - Cumberland County, PA  
 CHARTER Homes & Neighborhoods  
**LANDSCAPING PLAN - NEIGHBORHOOD 6**

Project Manager: DAVID B. KEGERIZE PE  
 Project Engineer: G. MITCHELL KING PE, PLS  
 Project Surveyor: THOMAS K. PHILLIPS PLS  
 Drafting: D. TURNER  
 Checked by: K. POSTLETHWAIT  
 Scale: 1" = 50'

Scale: 0 25 50 100 150

313 W. Liberty St., Suite 241 Lancaster, PA 17603 Phone: (717) 283-4538 info@townsquareengineering.com  
**TOWNE SQUARE ENGINEERING**  
**Civil Engineers & Land Planners**

DATE	REVISIONS
3/27/26	ADDRESS TMP. ENG. LTR. DATED 3/19/26
2/24/26	UPDATE PLAN TO REMOVE NEIGHBORHOOD 7
2/10/26	ADDRESS CDD & TMP. ENG. COMMENTS
1/19/26	REVISED FOR CH&N CHANGES

LANDSCAPE NOTES FOR ARCONA NEIGHBORHOODS 3.1, 4, 5, & 6:

- The landscaping, screening, buffering, street trees, street lights, outdoor lighting, neighborhood entry monuments and other amenities depicted on this Landscaping Plan are intended to demonstrate material compliance with Lower Allen Zoning Ordinance §220-200, §220-201, §220-202 and Lower Allen Subdivision & Land Development Ordinance §192-58 and §192-63 c and to serve as a general guide. All locations shown are approximate and will be subject to adjustments and modifications by Applicant to fit actual site conditions, resolve additional conflicts (especially with utilities), and to improve design and aesthetics. Specific locations, species, and other specifics may be altered and/or substituted provided that the minimum requirements of applicable ordinances are still met. Any alteration and/or substitution to this Landscaping Plan that does not comply with the minimum requirements of applicable ordinances shall not be made unless all applicable waivers, modification or variances are obtained from the Board or Commissioners or Zoning Hearing Board, as applicable. Lower Allen Township reserves the right to inspect construction to verify compliance with Township ordinances and the intent of this Landscaping Plan.
- Applicant shall be required to meet the minimum total number of street trees required per this plan albeit in differing locations for necessary and permitted adjustments.
- The precise locations and geometrical layout of walking trails ("trail") as depicted on this Landscaping Plan will be altered by Applicant to fit actual site conditions, resolve additional conflicts (especially with utilities), and to improve design and aesthetics. However, the point(s) of origin(s) and terminus(es) as well as the overall length of the trail(s) shall remain materially the same. The width and construction specification (material/surface, depth of pavement) of the trail(s) shall not be altered. The Applicant hereby grants an easement for public access over all trails shown on this plan. Each trail shall be a hard surface, and shall be not less than six (6) feet wide.
- Street trees shall not be planted on sanitary sewer or water laterals.
- All underground utilities shown are approximate.
- Contractor to field verify locations of all underground utilities prior to the start of construction.
- Trees which have died or have become diseased or pest-ridden within 18 months from the time of planting shall be replaced by the developer.

PLANTING NOTES:

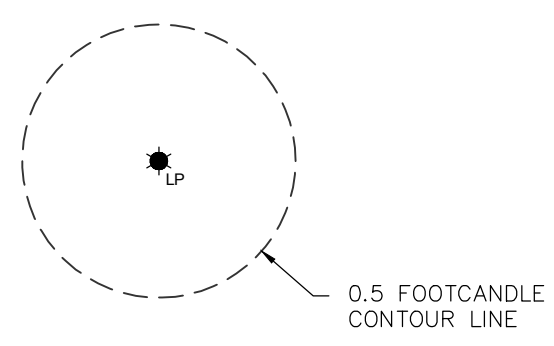
- All trees and shrubs shall be as specified, and shall be installed in accordance with the details and comments noted on the Drawings. No plant substitutions unless approved by the owner and/or the Township.
- The contractor shall furnish, deliver and install all plant materials. All plant materials shall have a normal habit of growth and shall be free of disease, insects or insect eggs. Plants shall conform to the American Association of Nurserymen's *American Standard for Nursery Stock* (latest edition).
- Inspection of Planting Beds** - The contractor shall inspect all planting areas before any top-soiling or planting is begun to insure that adequate drainage exists. If any areas to be landscaped show evidence of poor drainage, the Contractor shall notify the Owner immediately for corrective action. Any plant material that dies due to poor or inadequate drainage shall be the responsibility of the Landscape Contractor.
- The Contractor shall notify the owner and request an approval all plant materials. If requested by owner, stake plant locations prior to installation.
- All plant material shall be guaranteed for eighteen (18) months from the date of completion of installation.
- Any plant material that does not survive within initial planting shall be removed and replaced within thirty (30) days during the subsequent planting season.
- The Contractor shall maintain all plantings prior to the beginning of the guarantee period by watering, fertilizing, disease control, pruning, weeding, etc. so as to keep the completed work and/or uncompleted work in a clean and neat condition at all times. An additional maintenance period duration should be agreed to by the owner, if requested.
- Prepare soils according to specifications and details. Remove rocks and debris.
- Finish grade and "firm" the soil to avoid excessive settling. Caution: Avoid over compaction, minimize activities over newly cultivated soils.
- Mulch planting beds with properly composted mulch to a depth of no more than 2". Keep mulch back 2" from the base of the trunk.
- Pre-emergent herbicide such as "Eptam" shall be applied to all planting beds according to manufacturer's recommendation (prior to placement of mulch). A second application of pre-emergent herbicide shall also be included as part of this work.
- Street trees shall be planted in a bed of structural soil. The structural soil shall be CU-Structural Soil as supplied by an AMEREQ - licensed company. A minimum of two cubic feet of structural soil per square foot of tree crown area shall be provided. (Use + 620 c.f. of CU-Soil for Autumn Brilliance Service Berry, American Hop-hornbeam, and Choke Cherry).

STREET TREES BY PHASE						
Phase	L.F. Existing Street **	L.F. Proposed Street	L.F. Proposed Access Drive	Total	Street Trees Required	Street Trees Provided
3.1	1,326 L.F.	873 L.F.	0 L.F.	2,199 L.F.	63	63
4	540 L.F.	832 L.F.	0 L.F.	1,372 L.F.	45	45
5	1,079 L.F.	1,300 L.F.	0 L.F.	2,379 L.F.	74	74
6	546 L.F.	0 L.F.	92 L.F.	638 L.F.	15	15
<b>Total</b>	<b>3,491 L.F.</b>	<b>3,005 L.F.</b>	<b>92 L.F.</b>	<b>6,588 L.F.</b>	<b>197</b>	<b>197</b>

Number of trees required:  
 \* 1 tree per every 50' both sides on Proposed Length.  
 \*\* 1 tree per every 50' of Existing Length on the side of proposed development.

OVERALL TREES					
Quantity *	Abbrev.	Botanical Name	Common Name	Mature Size	Size-Comments
45	Ag	Amelanchier x grandiflora	Autumn Brilliance Serviceberry	20' ht 15' w	2.5" cal. B&B (S.S.)
74	Ov	Ostrya virginiana	American Hop-hornbeam	20' ht 20' w	5-6" B&B
78	Pv	Prunus virginiana 'Schubert'	Common Choke Cherry	25' ht 20' w	2.5" cal. B&B
<b>197</b>	<b>Total</b>				

NOTE:  
 PER ZONING SECTION 220-119.E.(5), SECTION 220-200 IS EXCLUDED.



0.5 ISOFOOTCANDLE LINE OF HORIZONTAL ILLUMINANCE  
 NOT TO SCALE

**OUTDOOR LIGHTING**

**ACORN**

LUMINAIRE: Acorn, black or green  
 LAMP SIZE: 5,800 lumens (70 watt) or 9,500 lumens (100 watt)  
 LAMP TYPE: High-pressure sodium  
 POLE: 11' x 1.5" black or green fiberglass, boulevard style, mounted on a concrete foundation  
 ALTERNATE POLE: 14 foot round black steel or anodized aluminum  
 ELECTRIC SUPPLY: Underground  
 RATE: Low-mount underground, high-pressure sodium (SHS)

Want to know more about the PPL Electric Utilities Outdoor Lighting Program?  
 Call your PPL Electric Utilities representative or PPL Electric Utilities Customer Service Answer Line at 800-842-5775 (TOLL FREE) during business hours 8 a.m. to 5 p.m.

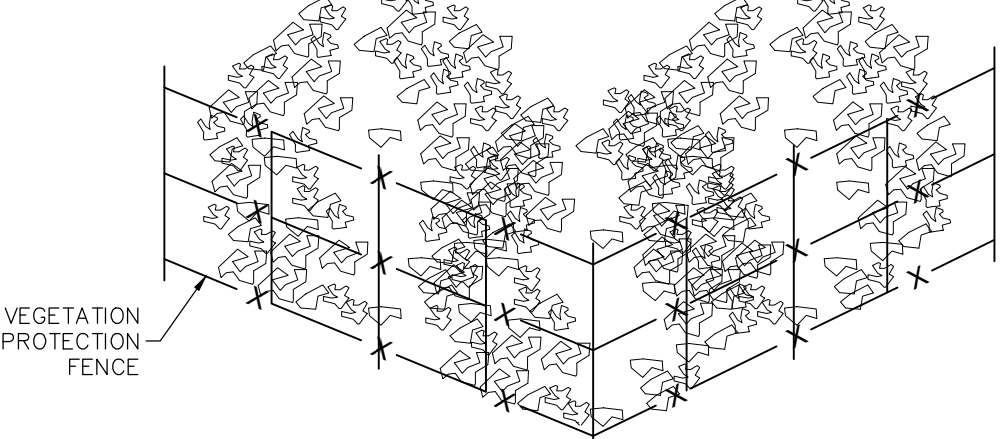
**ACORN**

- LAMP SIZE: 5,800 LUMEN (70 WATT)
- POLE HEIGHT: 11'
- POLE COLOR: BLACK

**A TYPICAL LIGHT - ACORN / PPL**  
 LA-5 NOT TO SCALE

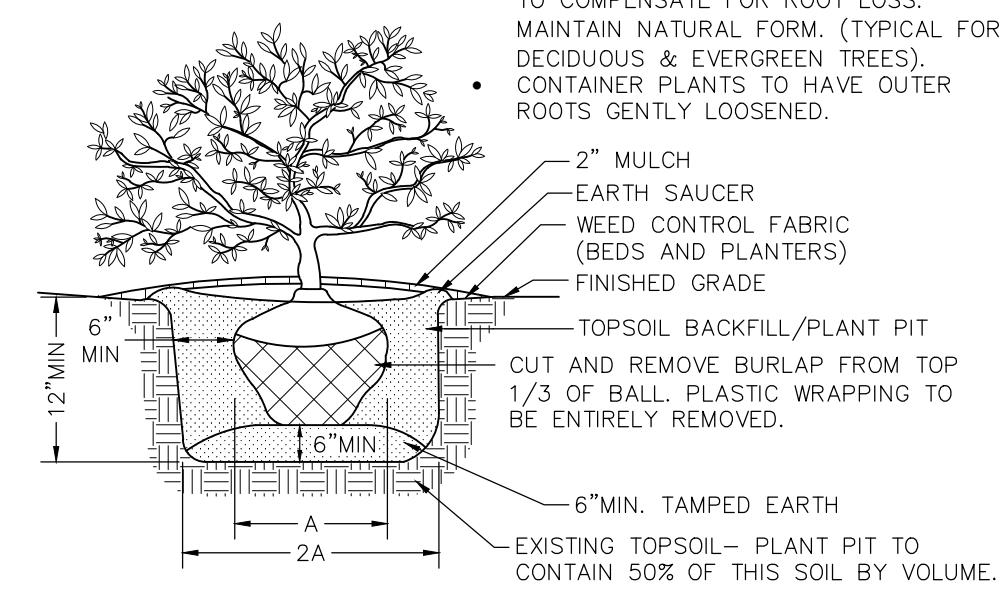
NOTE:  
 STREET LIGHT FIXTURES SHALL MEET LAMP AND WIRING STANDARDS ESTABLISHED BY PPL.

- NOTES:
- MATERIAL** - Fence. Acceptable, undamaged, standard picket snow fence or other acceptable, highly visible, weather resistant, easily maintained fencing that provides a substantial barrier.
  - CONSTRUCTION** - Posts. High carbon channel steel, 7'(feet) in length. Designed to drive satisfactorily into the ground and with at least 10 fence holding lugs of rivet type. Other posts may be accepted by the engineer.
  - Fence desirable wooded areas, individual trees, and shrubs designated for protection, before beginning other general project work. Where directed, fence other areas to be protected. Do not stockpile materials under, or within, protected vegetation areas. Prohibit construction traffic within protected areas. Place the fence at the drip line of trees or plants, but avoid causing root damage when driving posts. Replace damaged fence in kind within 24 hours of damage. Remove temporary protection, when directed.
- A PROTECTION FENCE WILL BE SET UP AT THE DRIP LINE OF ANY WOODY VEGETATION THAT IS WITHIN 25' OF ANY IMPROVEMENTS AS SHOWN ON PLAN.

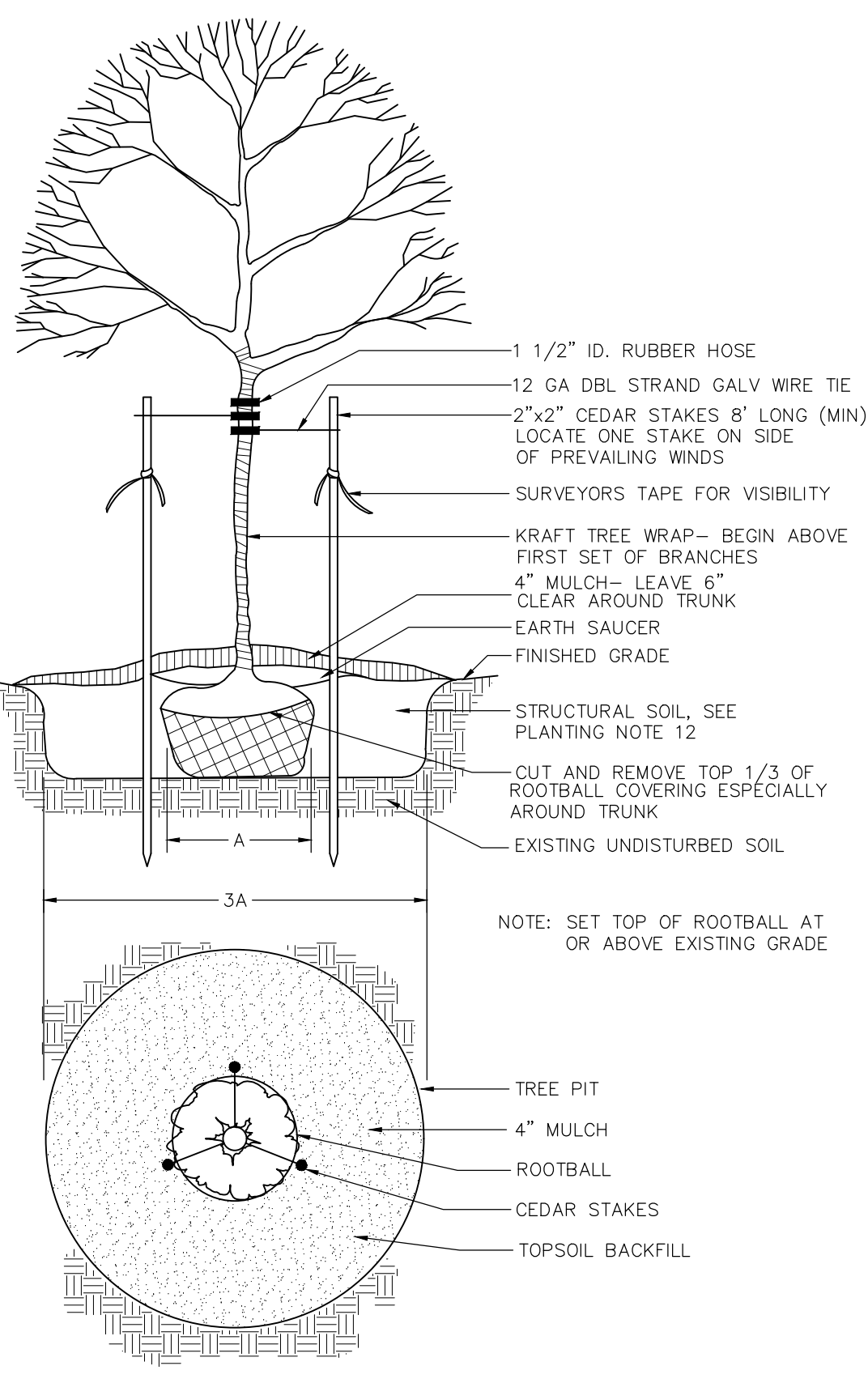


**B TREE PROTECTION DETAIL**  
 LA-5 NOT TO SCALE

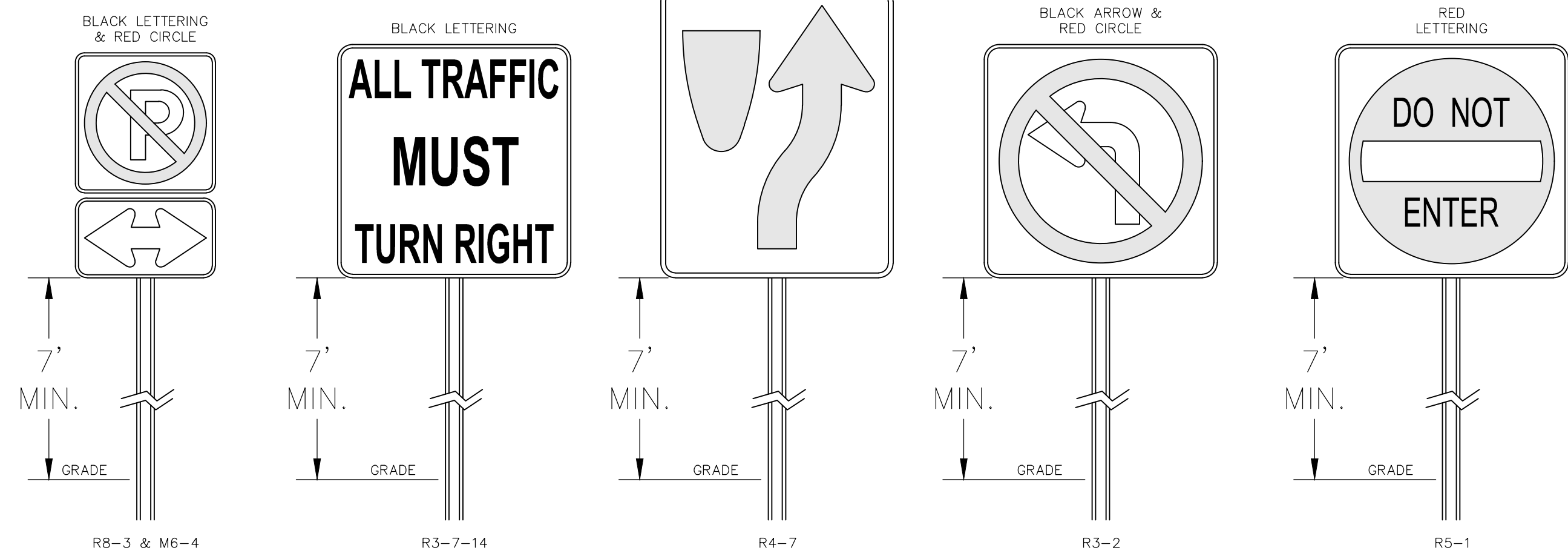
- NOTES:
- SHRUBS SHALL BE SELECTIVELY PRUNED TO COMPENSATE FOR ROOT LOSS. MAINTAIN NATURAL FORM. (TYPICAL FOR DECIDUOUS & EVERGREEN TREES).
  - CONTAINER PLANTS TO HAVE OUTER ROOTS GENTLY LOOSENED.



**D SHRUB PLANTING DETAIL**  
 LA-5 NOT TO SCALE



**C DECIDUOUS TREE PLANTING DETAIL**  
 LA-5 NOT TO SCALE



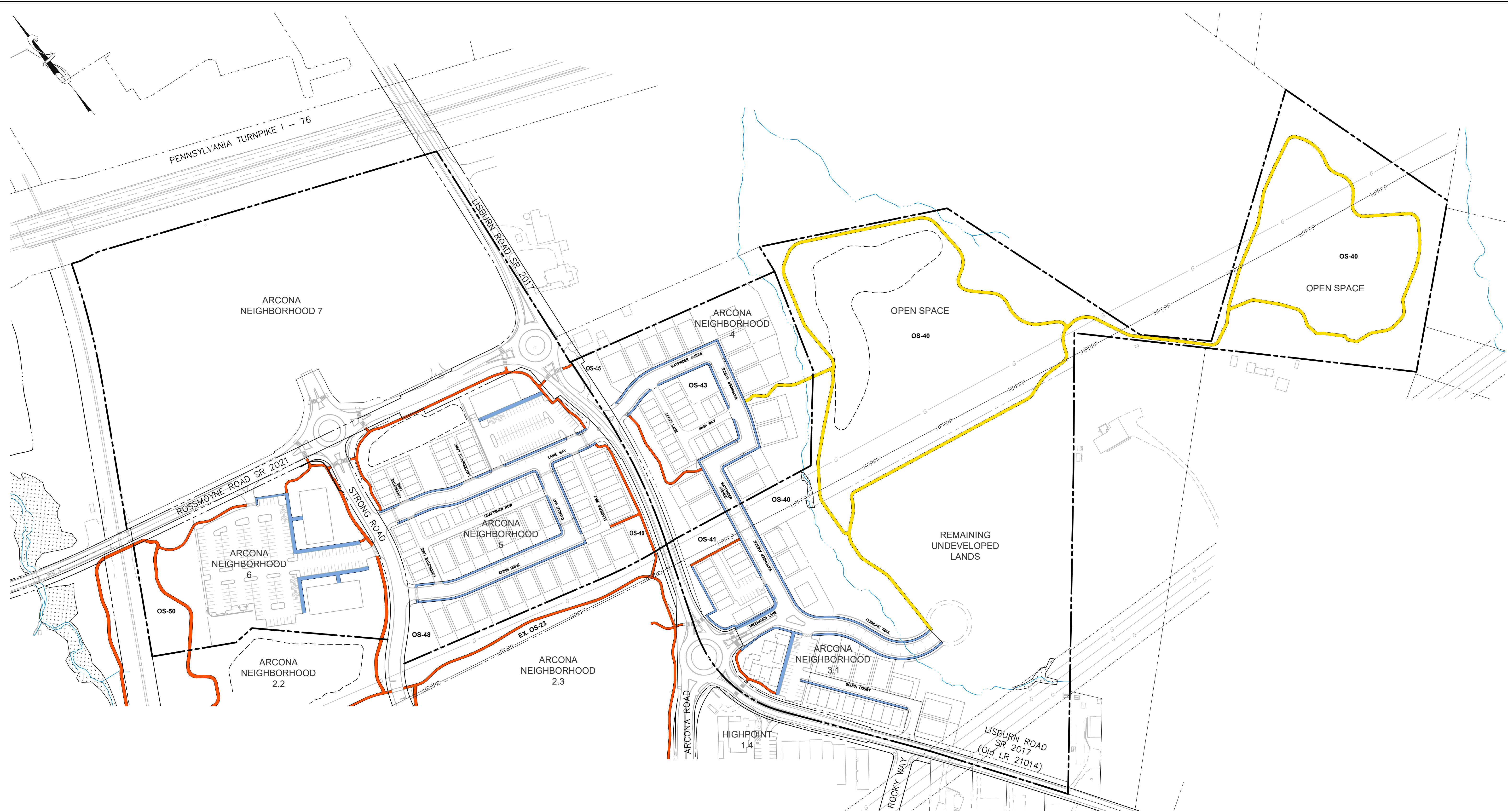
**E SITE INFORMATION SIGNS DETAILS**  
 LA-5 NOT TO SCALE

**REMAINING ARCONA NEIGHBORHOODS**  
 Lower Allen Township - Cumberland County, PA  
 CHARTER HOMES & NEIGHBORHOODS  
**LANDSCAPING DETAILS**

Project Manager: DAVID B. KEGERIZE PE  
 Project Engineer: G. MITCHELL KING PE, PLS  
 Project Surveyor: THOMAS K. PHILLIPS PLS  
 Drafting: D. TURNER  
 Checked by: K. POSTLETHWAIT  
 Scale: 1" = 50'  
 0 25 50 100 150

**TOWNE SQUARE ENGINEERING**  
 Civil Engineers & Land Planners  
 313 W. Liberty St., Suite 241  
 Lancaster, PA 17603  
 Phone: (717) 283-4538

3/27/26	ADDRESS TMP. ENG. LTR. DATED 3/19/26
2/24/26	UPDATE PLAN TO REMOVE NEIGHBORHOOD 7
2/10/26	ADDRESS CDDP & TMP. ENG. COMMENTS
1/19/26	REVISED FOR CHN CHANGES
DATE	REVISIONS



**LEGEND**

	SIDEWALK
	PAVED TRAIL
	UNPAVED TRAIL

Sheet Number: <b>81 of 81</b>											
Project Number: <b>15-100-35</b>											
Date: <b>DECEMBER 17, 2025</b>											
<b>REMAINING ARCONA NEIGHBORHOODS</b>											
Lower Allen Township - Cumberland County, PA CHARTER Homes & Neighborhoods											
Project Manager: <b>DAVID B. KEGERIZE PE</b>	Drafting: <b>D TURNER</b>										
Project Engineer: <b>G. MITCHELL KING PE, PLS</b>	Checked by: <b>K POSTLETHWAIT</b>										
Project Surveyor: <b>THOMAS K. PHILLIPS PLS</b>	Scale: <b>1"=120'</b>										
<b>TOWNE SQUARE ENGINEERING</b> 313 W. Liberty St., Suite 241 Lancaster, PA 17603 Phone: (717) 283-4538 info@townesquareengineering.com											
<b>Civil Engineers &amp; Land Planners</b>											
<table border="1"> <thead> <tr> <th>DATE</th> <th>REVISIONS</th> </tr> </thead> <tbody> <tr> <td>3/27/26</td> <td>ADDRESS TMP. ENG. LTR. DATED 3/19/26</td> </tr> <tr> <td>2/24/26</td> <td>UPDATE PLAN TO REMOVE NEIGHBORHOOD 7</td> </tr> <tr> <td>2/10/26</td> <td>ADDRESS CDDP &amp; TMP. ENG. COMMENTS</td> </tr> <tr> <td>1/19/26</td> <td>REVISED FOR CH&amp;N CHANGES</td> </tr> </tbody> </table>	DATE	REVISIONS	3/27/26	ADDRESS TMP. ENG. LTR. DATED 3/19/26	2/24/26	UPDATE PLAN TO REMOVE NEIGHBORHOOD 7	2/10/26	ADDRESS CDDP & TMP. ENG. COMMENTS	1/19/26	REVISED FOR CH&N CHANGES	Section Number: <b>LA-6</b>
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